

EAST VILLAGE PLOTS PUBLIC REALM
PLANNING APPLICATION:
DESIGN AND ACCESS STATEMENT

Stratford Village Property Holdings 1 (SVPH1) Limited
and
Stratford Village Property Holdings 2 (SVPH2) Limited

February 2023
Rev0



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| Revision | Purpose | Description | Prepared by | Approved by |



Figure 1. Illustrative plan of the proposed public realm for East Village comprising Victory Park, Belvedere, N18/19 and N16

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1.0 Introduction

1.0 INTRODUCTION

1.1 PURPOSE OF DOCUMENT

- 1.1.1 This “Design and Access Statement” has been prepared by Grant Associates Limited (“GA”), on behalf of Stratford Village Property Holdings 1 Limited (“SVPH1”) and Stratford Village Property Holdings 2 Limited (“SVPH2”) (“the Applicant”) to accompany a detailed planning application for open space and public realm proposals at Victory Park and the area formerly known as the Belvedere (“the Belvedere”) (collectively referred to as “the Site”) at East Village.
- 1.1.2 Victory Park and the Belvedere are located centrally within East Village and represent a significant proportion of open space and public realm for East Village as a whole. Between them, they provide an amenity lawn area; two play areas (comprising a Neighbourhood Equipped Area of Play (“NEAP”) and a Local Equipped Area of Play (“LEAP”); pedestrian and cycle routes that connect into the wider network; an “area of wilderness”; public art and facilities for pop-up events such as local market and film screenings etc. They also provide spill-out areas for the ground floor retail units located on the ground floors of the residential plots that surround the perimeter of both Victory Park and the Belvedere.
- 1.1.3 The Applicant has reviewed ways in which the remaining development plots at East Village, namely Plots N18/N19 and N16, can be delivered. The Applicant wants to embrace the opportunity to bring substantial enhancements to key areas of open space that will help ensure that the final plots at East Village can integrate seamlessly into the existing East Village estate. It also provides an opportunity to reimagine these areas of open space now that East Village has been occupied by permanent residents for almost 9 years following the use of East Village as the Athletes’ Village for the 2012 Olympic and Paralympic Games.
- 1.1.4 Whilst this DAS provides the detailed proposals for Victory Park and the Belvedere, it forms part of a much wider masterplanning exercise that extends to Plot N16 (located to the east/southeast of Victory Park) and Plots N18/N19, located to the immediate south/southeast of Victory Park. This is to ensure that there is an entirely holistic and coordinated approach to the proposals.

- 1.1.5 As a whole, this DAS sets out the wider landscape strategy and outlines the vision, design principles, and concepts that have guided and informed the evolution of the proposals. The landscape proposals present an integrated and holistic approach in response to the site conditions, the adjacent building, intended uses, and the rich and unique local context of the East Village masterplan. This strategy describes a series of proposals for the various spaces that comprise the public realm. The proposals seek to create a vibrant, verdant, and welcoming landscape that makes the most of the strategic location within East Village.
- 1.1.6 The site extends to a total of around 24,875 sqm. Victory Park equates to approximately 17,975 sqm whilst the Belvedere extends to approximately 6,900 sqm.
- 1.1.7 This DAS should be read alongside the suite of other documents that have been submitted in support of the application, including but not limited to the planning application drawings.
- 1.1.8 This DAS explains the design development that has occurred and led to the final proposals contained within the planning application as a result of the collaborative pre-application process. This has included, but not limited to, comprehensive pre-application consultation with the London Legacy Development Corporation (“LLDC”) Planning Policy and Decisions Team (“PPDT”) including design and landscape officers; the LLDC’s Quality Review Panel (“QRP”); the LLDC’s Built Environment Access Panel (“BEAP”); the LLDC’s Planning Committee; and comprehensive public consultation.

1.2 STRUCTURE OF THE DOCUMENT

- 1.2.1 This DAS is structured as follows:

- **Part I**

It provides the background, vision, site context, and analysis and introduces the wider masterplan proposals and landscape strategy for East Village. It also explains how the scheme has evolved in response to the pre-application process.

- **Part II**

This sets out the planning application proposals in more detail. It includes details of the proposals for: play areas; key interfaces; pedestrian and cycle routes; soft and hard landscape strategy; access and inclusive design strategy; planting strategy; urban greening factor (UGF); ecology strategy; servicing strategy; and SUDS & drainage strategy.

- 1.2.2 This document should be read alongside the application drawings and consultant/technical reports that have also been submitted in support of the application.

All figures/images within this DAS are provided for illustrative purposes unless stated otherwise.

1.3 CONTENT OF THE APPLICATION

1.3.1 The application seeks full and detailed planning permission for the redesign and enhancements to open space and public realm areas within the East Village. They relate to existing open space areas, Victory Park and the Belvedere. All existing open space infrastructure within Victory Park and the Belvedere, including but not limited to the following, will be reimagined and delivered as part of the comprehensive proposals to ensure that commencements made under the overarching Stratford City Outline Planning Permission are still met. These include:

- The reprovision of the NEAP (of at least 1,000sqm);
- The reprovision of a LEAP (of at least 400sqm);
- The reprovision of existing public art (the gorilla sculpture and Jeppe Hein mirror maze);
- Redesign of the existing mound landform within Victory Park;
- The reprovision of an area of wilderness (habitat zone);
- Integration with the pedestrian and cycle network;
- Retention and improvement to these areas of open space and better relationship with the surrounding areas.

1.3.2 The following will also be delivered as part of the proposals:

- Public toilet facilities (as required by the wider S106 Agreement for this part of Stratford City – previously secured as part of the extant RMA for Plots N18/N19);
- A Pavilion type facility at the heart of Victory Park;
- A feature in the public realm in the form of a canopy structure;
- Increased and improved security;
- An increase in urban green factor (UGF) and biodiversity net gain;

- An integrated and coordinated approach to open space public realm to ensure that, amongst other areas; a clear and legible connection from the Stratford International Station (SIS) up to the Velodrome is provided.

1.3.3 Whilst detailed planning permission is sought for the proposals, details associated with some elements are expected to be reserved for future approval pursuant to an appropriately worded planning conditions. This primarily relates to the following:

- **The Pavilion :** A public realm Pavilion structure is proposed for Victory Park. Given the prominence of this location and the need for detailed consideration to be given to its design, it is proposed that full details of the Pavilion are reserved for future approval. Within this application however, key parameters and guidelines are proposed that seek to enshrine those matters that are important to “fix” at the application stage. This is to ensure that key design parameters are established that can help inform the more detailed design of the proposals;
- **Canopy structure:** details of a canopy structure are provided within the application, but further work is required to provide the appropriate amount of detailed design. Accordingly, whilst approval is sought for the concept design of the canopy, the detail design is expected to be reserved for future approval.

1.3.4 The proposals for the public realm outlined in this document are part of the wider proposal that includes development Plots N18/ N19 and N16. Plots N18/19 are a revised RMA application, while N16 is a standalone planning application, although it is intended that they be determined concurrently to ensure a holistic approach.

1.3.5 The proposals for all three applications have been developed simultaneously. Grant Associates have lead the design of the public realm for all three applications to ensure a joined up approach and cohesive design.




-  Public Realm Boundary (Victory Park & the Belvedere)
-  N18/N19 Application Boundary
-  N16 Indicative Application Boundary



Figure 2. Illustrative plan of the neighbouring planning application boundaries for N18/19 & N16.

1.4 DESIGN TEAM

CLIENT: Stratford Village Property Holdings 1 & Stratford Village Property Holdings 2, 6th Floor Lansdowne House, Berkeley Square, London, W1J 6ER

TEAM:

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LIGHTING

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TRANSPORT

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Figure 3. Illustrative aerial view of Victory Park



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Arboriculturalist

TPP
Transport

Earnscliffe
Access Consultant



Figure 4. Illustrative view of The Gateway

1.5 VISION

1.5.1 Over the last ten years, residents have been able to enjoy over 100 events (including outdoor events) across the East Village as part of the Applicants dedicated events and community programme. However, the residents have expressed their desire to see more amenities and activities in the public spaces that are available for people of all ages.

1.5.2 By updating the plans for N16 and N18/19, the Applicant has been presented with an opportunity to create something even more special at Victory Park and Belvedere, making them areas that can be enjoyed by the whole community, as well as visitors. The ambition is to create public spaces that inspire creativity, health and sustainable living.

1.5.3 Taking on board local feedback, the Applicant is looking to provide an outdoor space celebrating local artists and Stratford's history. A Community Plaza at the centre of Victory Park will be capable of hosting theatre and music performances, as well as an outdoor cinema and local markets. The redesign will provide more community, culture, and exercise programmes with green spaces. In essence, the main objectives are:

- Improved children's play areas;
- Enhance walking and cycling connectivity;
- More outdoor seating areas;
- Improved biodiversity, with urban greening, trees, and community gardens.

The Applicant will be looking to expand the programme of outdoor activities through improved sports and exercise classes.

1.5.4 As part of the improvements to Victory Park & Belvedere, the Applicant is looking to provide a wider range of exercise classes (individual and group). These will complement the existing services, such as "Fix Fit", "Box Fit", "Bootcamp with Our Parks" and "Circuits", which are held throughout the week and open to the whole community.

1.5.5 The Applicant is considering bringing local food markets to public spaces in order to create more community-focused events. This will encourage people to eat healthier.

1.5.6 The exercise and community classes will be added to the programme of activities the Applicant already holds at Victory Park and Belvedere. From 'Self-Care Saturday' to the annual 'E20 Summer Fete', the events are designed to encourage residents to enjoy the outdoors and the ample open spaces in the East Village.

1.5.7 All of the above outlines a clear vision for Victory Park and Belvedere, which will be explained at length in this document.



Figure 5. Images of the existing public realm in East Village

1.6 A BRIEF INFORMED BY PLACEMAKING PRINCIPLES

1.6.1 In 2020, the Applicant undertook an exercise to analyse key elements of East Village to better understand how it could be improved.

1.6.2 The analysis identified a number of themes, spaces, experiences and new uses to be incorporated into the public realm which are outlined below.

- **Creating a unique identity:** a diverse and inclusive neighbourhood where ‘meaningful’ experiences happens.
- **Supporting the Creative:** Tech industries: a platform for innovation and enterprise delivering economic and social value.
- **Innovating Urban Green:** a green haven with a rich biodiversity and a biophilic design.
- **Cultivating Health and Wellness:** delivering a place to grow, refuel and correct.

1.6.3 The outcome of the exercise identified an opportunity to reimagine the East Village estate to create a new heart in London for creative industries by redefining a ‘village’ lifestyle led by creativity and innovation, letting residents and visitors co-create a paradigm of urban wellness and enterprise, connecting residents into the wider cultural and community assets and delivering a beacon of purposeful living.

1.6.4 A framework of 10 connected placemaking projects were identified to be threaded throughout the masterplan, embedded within the landscape and architectural design. These 10 projects are outlined on the next page. They don’t all relate to open spaces and public realm areas, but the most relevant to the public realm application are highlighted in red.



Figure 6. Health and Wellness



Figure 7. A creative public realm



Figure 8. Creating unique identities

* Placemaking themes related to public realm are highlighted in red.



1. THE LAB 20

A creative innovation, exchange and learning hub for London occupying ground floor commercial space



2. N18/19 FACADE

Art & Architecture collaboration on N18/19 external façade design. It should reflect the forward thinking, contemporary nature of the area, and combine sustainable processes with inventive use of materials.



3. HARD LANDSCAPING

Artistic treatment within the paving and retaining walls of the public realm. A creative carpet for identified sections of the public realm hard landscaping, demarcating spaces and routes for different users.



4. SEATING

Artistic treatment embedded into signature public realm seating.



5. FITNESS AND PLAY

Artistic treatment embedded into public realm fitness and play equipment and landscaping.



6. SCULPTURE / WAYFINDING

- Relocation of existing public sculpture;
- Temporary creative wayfinding for N18/19 during construction;
- New permanent sculpture & wayfinding.



7. COMMUNITY GARDEN

A productive, experimental garden for East Village community.



8. PAVILION

A unique stand-alone creative architectural space for communal activities and events.



9. CANOPY

An accessible, covered walkway along the ridge of crescent mound. The canopy should demonstrate technique, texture, colour and pattern that draw on the area's fashion connections. The resulting sheltered space that reflects the forward thinking, contemporary nature of the area, and combine sustainable processes with inventive use of materials.



10. CYCLING INFRASTRUCTURE

A strategic set of cycling initiatives across public realm, infrastructure, retail, and community amenity.

1.7 DELIVERY OF THE PUBLIC REALM: ZONES

1.7.1 This Section sets out the phasing strategy associated with the delivery of public realm.

1.7.2 During the pre-application process, and as the proposals evolved, the LLDC PPDT stressed the importance that the proposals for N18/N19 and N16 as a whole look beyond the redline boundaries for the immediate Plots and make other contributions to the public benefit (this, notwithstanding, that substantial and significant benefits had already been delivered pursuant to the SC OPP (inc principal areas of public realm and streetscape which include all roads, pedestrian and cycle routes). Early on in the process, a significant opportunity was identified (in consultation with and the support of the LLDC PPDT) to make substantial refinements and improvements to the existing public realm areas at East Village.

1.7.3 As explained during the design process, the significant and comprehensive design of the public realm improvements overlap significantly with the proposals for N16 and N18/19 (both in design terms and delivery). The public realm proposals include public realm components which preserve and improve existing open space infrastructure and comprise a central part of the broader consideration around the massing and density of the development to come forward on Plots N18/N19 and N16 (albeit the density for Plots N18/N19 and Zone 3 in its entirety has already been established under the SC OPP). The delivery of the public realm improvements is therefore intrinsically linked and can only be realised by bringing forward the proposals for the development plots in full.

1.7.4 In order for those full benefits to be realised, the way in which specific areas of open space enhancements are delivered is yet to be determined in detail but is predicated on the delivery of Plots N18/N19 and N16. They are also informed by several factors, including, but not limited to:

- The need to ensure that the sequencing of works does not render the entire public realm/open space areas unusable by the general public;







- The need for some existing play/open space infrastructure to be delivered with respective Plots e.g. the re-provision of the NEAP with Plots N18/N19;

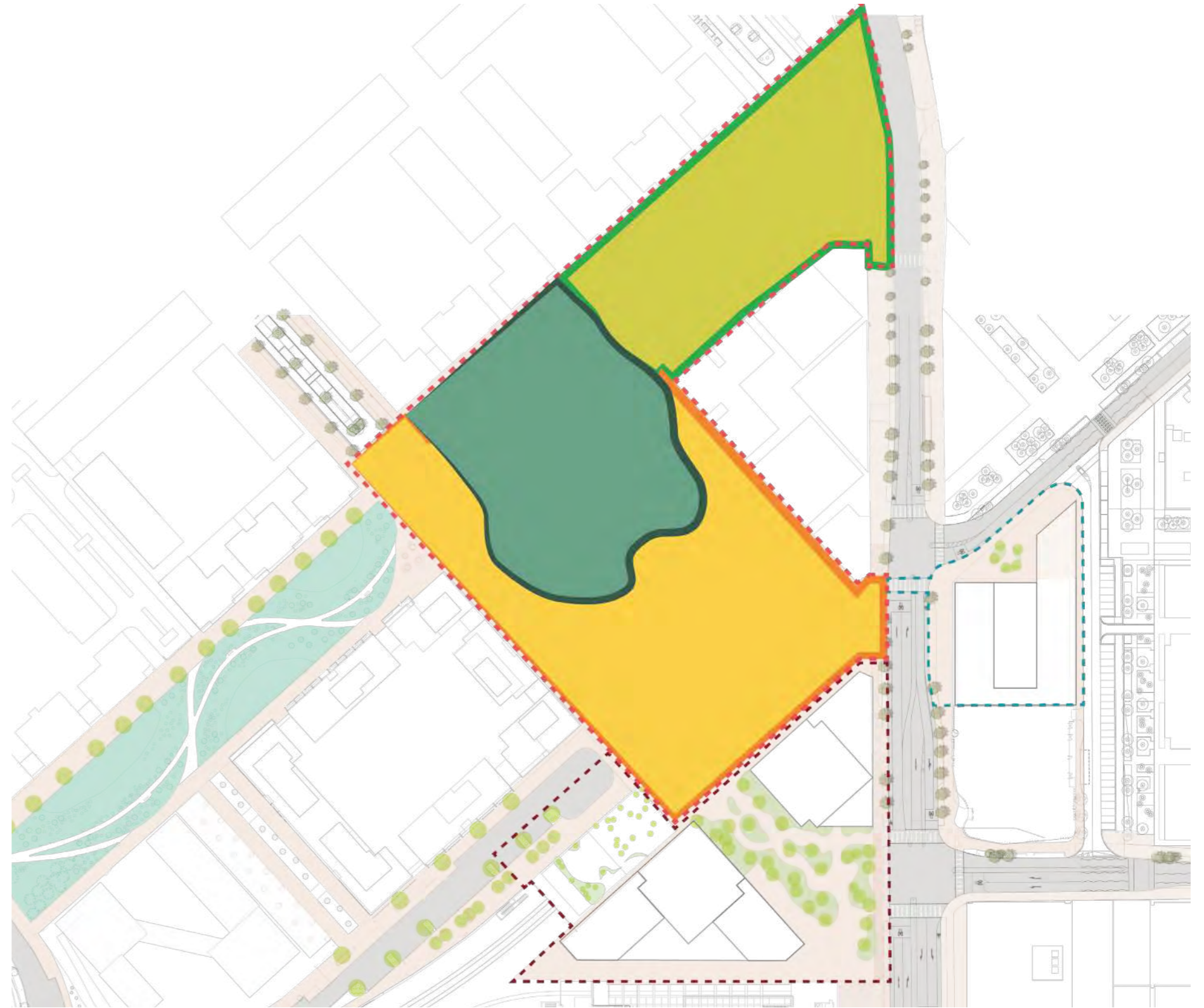
- That once both Plots N18/N19 and N16 are delivered, the full benefits of the public realm improvements can be realised.

1.7.5 Accordingly, the diagram below indicatively shows how the public realm works could be zoned. This indicatively shows that:

- The delivery of the “Belvedere” Zone will be linked to the delivery & occupation of Plot N16. This includes the LEAP;
- The delivery of “Victory Park South” Zone will be linked to the delivery and occupation of Plots N18/N19. This includes the relocation of the existing NEAP and relocation of the existing area of wilderness and mirror maze;
- The delivery of “Victory Park North” Zone will be linked to the delivery & occupation of both Plots N18/19 and Plot N16. This includes the remainder of the public realm proposals including the canopy structure and pavilion.

1.7.6 It is expected that the finer details associated with the precise nature of triggers/linkages between the delivery of discrete public realm areas and Plots will be the subject of on-going discussions with the LLDC PPDT.

- LEGEND**
-  Victory Park North
 -  Victory Park South
 -  Belvedere
 -  Plots N18 & 19 Boundary Line
 -  Plots N16 Boundary Line
 -  Victory Park & Belvedere Boundary Line



PART I





2.0 Site Context

2.0 SITE CONTEXT

2.1 LOCAL CONTEXT OVERVIEW

2.1.1 Overview.

- Whilst originally accommodating athletes' and officials during the London 2012 Olympic and Paralympic Games, East Village was occupied by first permanent residents in 2013 following a major retrofit programme to all of the buildings. However, the open spaces and public realm areas remained the same. Since 2012, and as the community and residential neighbourhood at East Village have flourished, the landscape areas are not as suitable to accommodate the residential community today as it did back then.

2.1.2 History and Evolution.

- The original design for the public realm and open spaces was developed by Vogt Landscape Architects. Inspired by traditional Victorian parks and gardens, the scale of the open spaces was designed and intended to move large crowds quickly and safely through and between the various Olympic venues. The delivered design resulted in a series of interconnected areas of open spaces linked by wide pavements/avenues designed for high volumes of pedestrian traffic. The topography and landscaping of the parks were also intended to be sculpted and monumental.
- As the last remaining development Plots at East Village progress, the Applicant wants to capitalise on the opportunity to reimagine some of the existing open space and public realm areas, to ensure that East Village caters for the needs of its residents today and in response to the COVID-19 pandemic. The Applicant has gained significant experience from managing the estate for almost 10 years and has the unique opportunity to directly influence and reimagine some of the open space areas for existing and new residents alike.

2.1.3 Wider Connections.

- The original vision for East Village catered to cyclists and pedestrians, but also required significant highways engineering

to accommodate the 2012 Olympic and Paralympic Games. Today, roads like Celebration Avenue are over-engineered for the current quantum of vehicle movements. Furthermore, pathways and routes are often discontinuous and lack legibility. The design team are aware that, at the same time as proposals evolve and come forward at East Village, other stakeholders are reviewing potential refinements to the existing streetscape around this part of Stratford, albeit they sit outside of the East Village ownership and largely comprise highway land.



Figure 9. Aerial photograph of the existing Victory Park



Figure 10. Aerial photograph of Belvedere prior to the installation of play equipment

2.2 SITE IN THE WIDER CONTEXT



- WaterWorks Nature Reserve
 - Gardens & heritage
 - Nature reserves
 - Water pond and parks
 - Walking, running & cycling
 - Wildlife sightings
- Millfields Park
 - Sport pitch
 - Community orchard
 - Trim trail (wooden gym apparatus)
- Hackney Marshes
 - Sport facilities
 - The marshes
- Chandos Road Gardens
- Lee Valley Hockey & Tennis Centre
- Drapers Field Recreation Ground
- Wick Woodland
- Lee Valley BMX Track
 - Trees, woods and wildlife
- River Lawns
- Mirabelle Gardens
- East Village Park**
- New Garden Quarter
- Stratford wetlands
 - Ecology
 - Wetland garden
 - Wetland conservation
- Victoria Park
- Great British Garden
 - Seasonal gardens
 - The garden show
- Queen Elizabeth Olympic Park
- Pudding Mill Allotments
 - Allotment gardens
- Three Mills Green & Three Mills Island
 - Arts and Culture
 - History
 - Play
 - Festival

LEGEND

| | | |
|------------------------|---------------|--------------------|
| Green Areas | Water Areas | Leisure and sports |
| Significant tree areas | Bird watching | Water pond |
| Perennials | Marshes | Water feature |
| Gardens | | Playground |
| Community Gardens | | F&B |
| Wildlife | | Picnic |
| | | Seating element |
| | | Sport facilities |
| | | Performance |
| | | Sport pitch |
| | | Cycle path |
| | | Recreational areas |

2.3 SITE CONTEXT AND WIDER CONNECTION

2.3.1 Victory Park and the Belvedere are located centrally within East Village. The Site is well served by excellent pedestrian and cycle routes (as well as excellent public transport facilities within easy walking distance – hence the PTAL 6B rating for the Site, the highest possible level). They provide easy connections both within East Village and beyond in all directions.

2.3.2 The wider network of pedestrian and cycle infrastructure is an integral part and important consideration for the evolving design. There are several established routes through East Village, most notably the cycling route connecting Liberty Bridge Road and Anthems Way. Although the route is important in the context of the design exercise it is not part of the strategic LBN routes. Its importance is more local and although the number of residents is expected to rise considerably as the masterplan develops; it is expected that the increase in the number of inhabitants will not be commensurate with the number of cyclists. This will inform the solutions proposed later in this document.

- Existing & future routes
- LBN Strategic cycle route network
- Pedestrian connections
- TFL Cycle network
- Other strategic routes within LLDC
- Public open space
- Cycle hire docking station
- A Stratford International
- B UAL London College of Fashion
- C Birbeck, University of East London
- D School of Business and Technology
- E London Stadium
- F Stratford Train Station

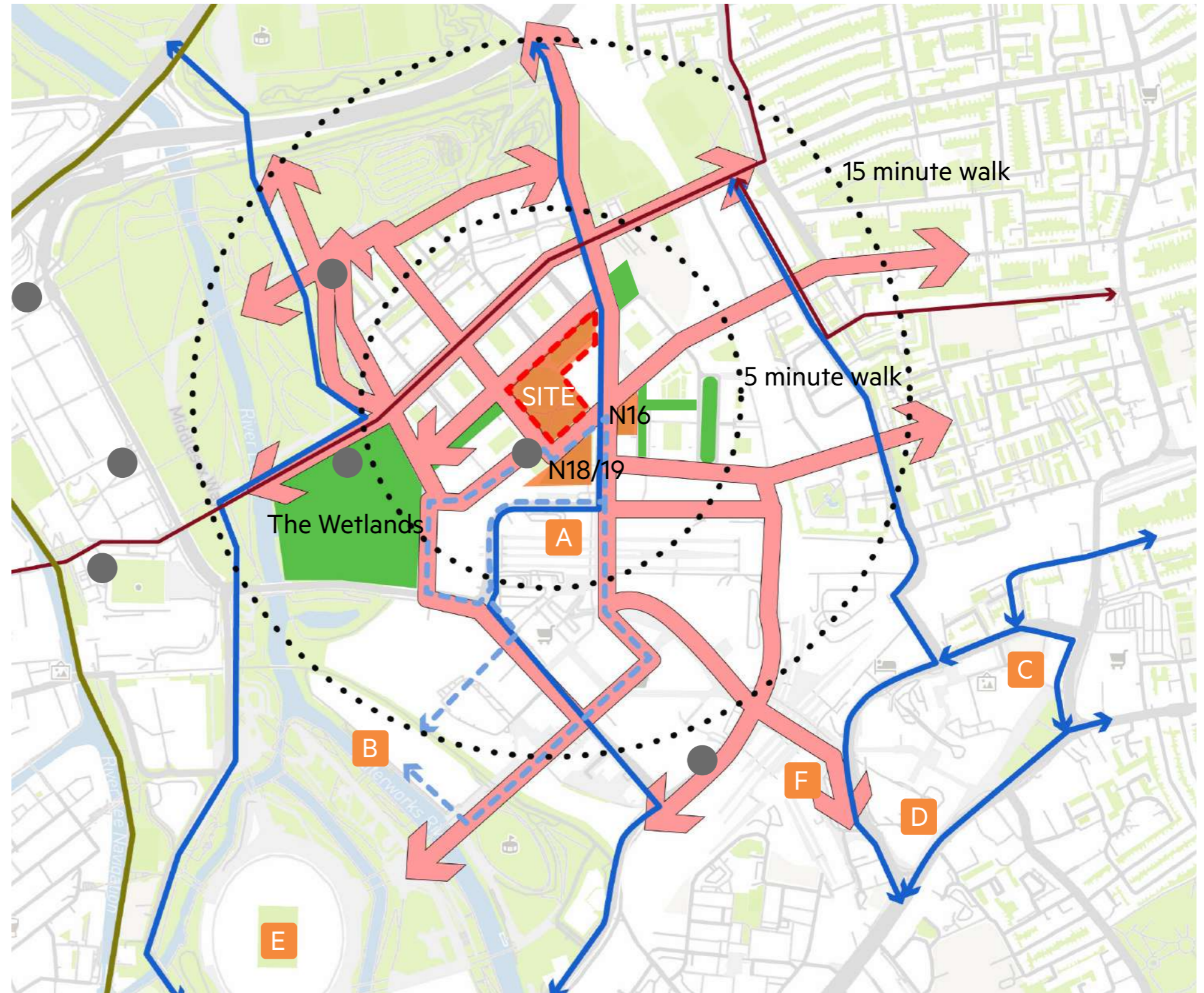


Figure 12. The site shown in its local context

2.4 EXISTING CYCLING STRATEGY

2.4.1 The existing cycle strategy for Victory Park and the Belvedere forms part of the wider Streetscape and Public Realm proposals that have been implemented at East Village. This strategy identifies Victory Park and the Belvedere as a shared pedestrian and cycle environment. A strategy which is approved and developed in accordance with the over arching principles set out in the Stratford City Outline Planning Permission and associated Zonal Masterplan to accommodate all of the development to come forward in this part of Stratford City.

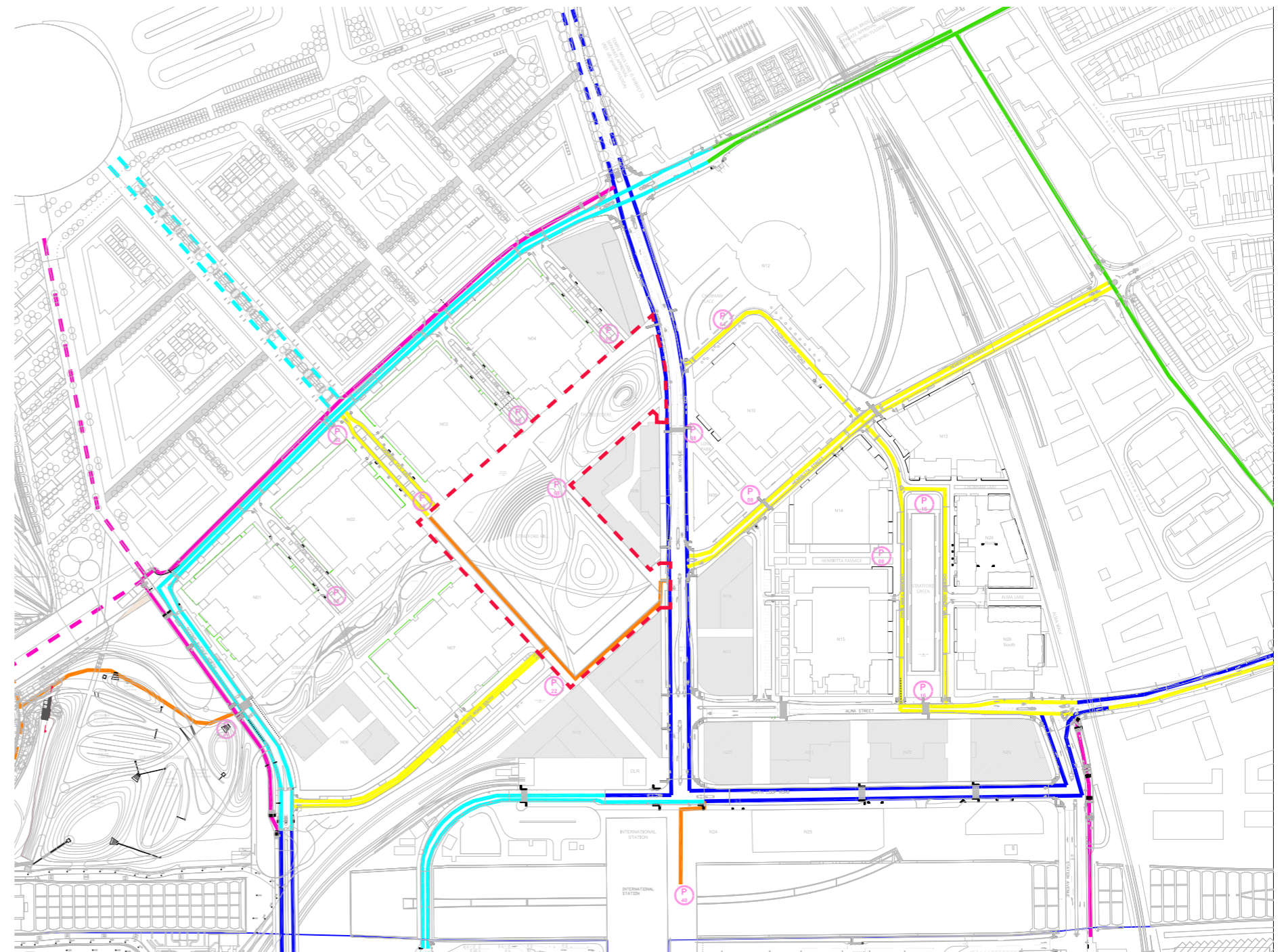
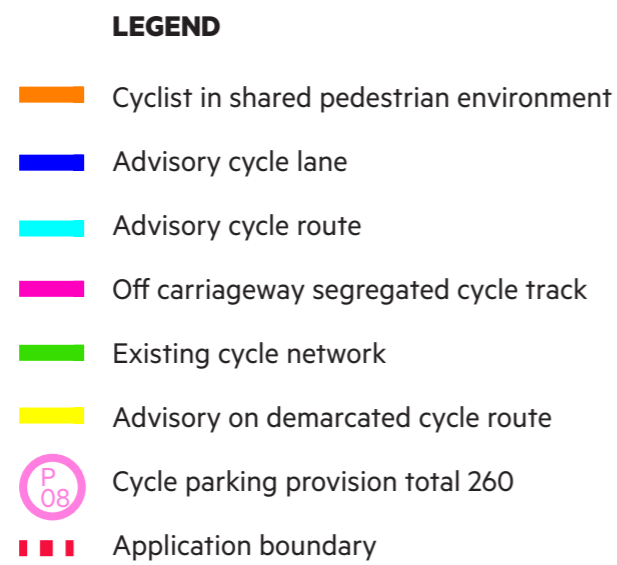


Figure 13. Diagram showing existing cycle routes

2.5 PLANNING POLICY SUMMARY

2.5.1 The development Plan covering the Site comprises:

- The London Plan (adopted 2021); and
- London Legacy Development Corporation Local Plan (adopted 2020)

2.6 THE LONDON PLAN (2021)

2.6.1 The London Plan (2021) provides the spatial development strategy for Greater London up until 2041. The following London Plan policies are relevant to this proposal:

Policy G1 Green Infrastructure

This policy outlines the Mayor's commitment to protect, promote, expand and manage London's Green Infrastructure.

Policy G5 Urban Greening

This policy notes that the Mayor will support proposals for urban greening, including new planting in the public realm.

Policy G6 Biodiversity and Access to Nature

This policy notes that the Mayor will support proposals for protecting and conserving existing habitats, opportunities for creating new habitats and with aim to secure net biodiversity gain.

Policy G7 Trees and Woodlands

This policy notes that the Mayor will support proposals for protecting existing trees and planting new trees.

Policy HC3 Strategic and Local Views

This policy notes how the Mayor will protect the composition and character of designated views.

Policy HC4 London View Management Framework

This Policy notes how the Mayor will protect, and manage designated views.

Policy SI1 Improving Air Quality

This policy highlights proposals should consider how local air quality can be improved.

Policy SI13 Sustainable Drainage

This policy notes that preference for green over grey sustainable drainage features in line with hierarchy – rainwater as resource, managed close to its source as possible and attenuation in green infrastructure features.

Policy T2 Healthy Streets

This policy notes proposals should promote and demonstrate the application of the Mayor's Healthy Streets approach.

Policy T5 Cycling

This policy notes proposals should help remove barriers to cycling and create a healthy environment in which people choose to cycle.

THE LONDON PLAN



THE SPATIAL DEVELOPMENT
STRATEGY FOR GREATER LONDON
MARCH 2021

2.7 LLDC LOCAL PLAN (2020)

2.7.1 As per London Legacy Development Corporation Local Plan 2020 to 2036. The following policies are specially relevant for this proposal:

Policy B.2

Thriving town, neighbourhood and local centres
This policy notes that development proposals should maintain active retail frontages providing support for existing and proposed cultural and night time uses. They will need to support cultural, sporting and visitor growth.

Strategic Policy SP.3

Integrating the natural, built and historic environment. LLDC states that it will create a high quality built and natural environment ensuring: the creation of 'place', enhancing the landscape context, promoting local distinctiveness, protecting biodiversity and providing a strong infrastructure. It shall also support minimizing impact from noise.

Policy BN.1: Responding to place

The proposals will be considered acceptable where they respond to place in accordance to the following principles:
Landscape and water: respect and enhance the local area's defining natural and man-made landscapes.
Urban fabric: respect existing typologies, drawing design cues from the form of the area in terms of layout.
Connectivity: routes should cater for the requirements of all users. Opportunities to connect areas to strategic road, rail, bus and cycle networks must be utilised.
Infrastructure: make use of existing physical infrastructure to help overcome barriers to integration and to create new links and routes.
Amenity and wellbeing: prevent overshadowing, mitigate noise and air pollution, provide acceptable levels of sunlight, daylight, etc.

Policy BN.3: Maximising biodiversity

The policy notes that the biodiversity shall be protected and enhanced and new habitats created within open space, parks and built up neighbourhoods.

2.6.2 As per London Legacy Development Corporation Local Plan 2020 to 2036. The following policies are specially relevant for this proposal:

Policy B.2

Thriving town, neighbourhood and local centres

This policy notes that development proposals should maintain active retail frontages providing support for existing and proposed cultural and night time uses. They will need to support cultural, sporting and visitor growth.

Strategic Policy SP.3

Integrating the natural, built and historic environment. LLDC states that it will create a high quality built and natural environment ensuring: the creation of 'place', enhancing the landscape context, promoting local distinctiveness, protecting biodiversity and providing a strong infrastructure. It shall also support minimizing impact from noise.

Policy BN.1: Responding to place

The proposals will be considered acceptable where they respond to place in accordance to the following principles:

Landscape and water: respect and enhance the local area's defining natural and man-made landscapes.

Urban fabric: respect existing typologies, drawing design cues from the form of the area in terms of layout.

Connectivity: routes should cater for the requirements of all users. Opportunities to connect areas to strategic road, rail, bus and cycle networks must be utilised.

Infrastructure: make use of existing physical infrastructure to help overcome barriers to integration and to create new links and routes.

Amenity and wellbeing: prevent overshadowing, mitigate noise and air pollution, provide acceptable levels of sunlight, daylight, etc.

Policy BN.3: Maximising biodiversity

The policy notes that the biodiversity shall be protected and enhanced and new habitats created within open space, parks and built up neighbourhoods.

Policy BN: Designing development.

The policy states that all developments should achieve the highest possible standards and quality in both design, construction and use. This included contributing towards the creation of distinctive, integrated, legible, connected and suitable places. The design shall exhibit the principles of good design, minimise adverse impacts demonstrating that the scheme will receive acceptable levels of daylight and sunlight.

The policy also considers important to: respect the scale and grain of their context, relate well to the adjacent streets, generate active frontage, communal amenity space well designed and appropriately located, contribute to defining existing or new routes and promote legibility of the site.

Policy BN.6: Requiring inclusive design.

Non - residential proposals will be considered acceptable where they respond to the needs of all users, and provide an accessible and inclusive environment by incorporating all applicable elements of the Legacy Corporation's Inclusive Design Standards.

Policy BN.8: Improving Local Open Space.

The development proposals of affecting areas of Local Open Space, will be expected to help shape local identity by: protecting and/or enhancing its function, quality and character and protecting its openness and extent.

Policy BN.9: Maximising opportunities for play.

The design proposals will be required to improve or provide new play, maximising opportunities for play and informal recreation. New play spaces should create high quality, dynamic and stimulating play space.

Policy BN.10: Protecting key views.

Proposals for development that impact a key view will only be considered acceptable when the development makes a contribution to the characteristics and composition of that view.

Policy BN.12: Noise.

The proposals should contribute towards minimising the effects of noise on amenity of the occupiers and users of existing and planned new development within the Legacy Corporation Area. encouraging local food growing.

Strategic Policy SP.5: A sustainable and healthy place to live and work.

This Policy states that it will be important:

To ensure that the development contributes to the health and wellbeing of those living and working in the area.

To ensure that the development meets the needs of the present without compromising the ability of future generations to meet their own needs.

To contribute to the Mayor's objective of London becoming a zero-carbon city by 2050.

To reduce water use encouraging the utilisation of rainwater harvesting, grey water recycling and use of non - potable water sources.

To minimise waste

Policy S.1: Health and wellbeing

The development schemes will be required within their Design Access Statement to describe how the scheme will contribute to the health and wellbeing of those who will live and/or work within the development proposed and would not significantly adversely effect those who live and/or work within the vicinity of the proposed development.

Policy S.8: Waste reduction

This policy outlines the need for minimizing the amount of waste produced maximising reuse and recycling.

Policy S.9: Overheating and urban greening.

The policy states that existing parks and open spaces should maximise the contribution that urban greening can make in creating a liveable environment maximising local biodiversity and encouraging local food growing.

Policy S.10: Flood risk.

This requires the submission of a Flood Risk Assessment for developments proposed within Flood Zones 2 or 3. Developments must be designed to reduce vulnerability to climate change, apply sequential approach on site and be flood resilient and resistant.

Policy S.11: Sustainable drainage measures and flood protections.

This notes that the rate of surface water run-off from development sites should be restricted to not greater than the equivalent for a Green Field site of an equivalent size and sustainable drainage techniques should be used as first choice.



Figure 14. Relevant local policy - development plan and planning guidance



3.0 Site

3.0 SITE

3.1 INTRODUCTION

3.1.1 The development site comprises: Victory Park and Belvedere with an total area of approximately 18,000 and 6,900 square meters respectively. Together Victory Park and Belvedere have a combined area of over 2.49ha. The site is situated at the core of East Village with several important connections and junctions. To the east is Celebration Avenue, a main arterial route. Towards the south is the development plot of N18/19 which serves as an important connection with Stratford International. At the west is Anthems Way and the Portlands linking to the Queen Elizabeth Olympic Park. The key features of both Victory Park and Belvedere are highlighted in the following section.

3.2 SITE FEATURES - VICTORY PARK

3.2.1 Victory Park (also define as the Park in this document) forms the primary open space within East Village and extends to approximately 175m x 105m.

3.2.2 The park is bound to the north by Victory Parade and the residential Plot N03. Victory Parade is a wide, tree-lined avenue linking the Belvedere and Portland areas through the park. Victory Parade is a large area of York stone hard landscape at 22m at its narrowest point, which extends to 40m+ where it curves to form a sculptural grass mound. Benches in rows are located beneath the tree planting.

3.2.3 The ground floor of N03 is activated by residential lobby entrances and retail units. The western edge of Victory Park is bound by West Park Walk and residential plot N07. West Park Walk forms another key route which is tree lined with a 12m area of hard landscaping to facilitate circulation and spill out space from the ground floor retail units of plot N07.

3.2.4 To the south is the development plot of N18/19 which is currently a temporary landscape of lawn with a path leading to Celebration Avenue. The Get Living site office and a cafe are also located here temporarily.

3.2.5 Residential plot N08 forms the northern boundary of the park.

Residential lobby entrances are located here along East Park Walk, a 6 metre area of hard landscaping. A low, curved wall provides an informal place to sit.

3.2.6 The centre of the park is largely amenity grassland with clear-stem tree planting. Two resin-bound gravel paths which intersect at the centre of the park allow for diagonal movement through the park. A large central lawn and a grassed mound provide facilities to host outdoor events such as a local market and an outdoor cinema/ sports event.

3.2.7 At the southern end of the park is a fenced area dedicated to ecological planting, bee hives, and habitat areas.

3.2.8 There are a number of public art installations within Victory Park, a legacy of the London 2012 Olympic Games. Notably, 'Mirror Maze' by Jeppe Hein, a series of mirrored totems set within a gravel area which has since been fenced off to the public. On the central lawn, there is also a large gorilla sculpture.

3.2.9 There is street lighting in the form of columns around the perimeter of the space and bollards along the main central paths.

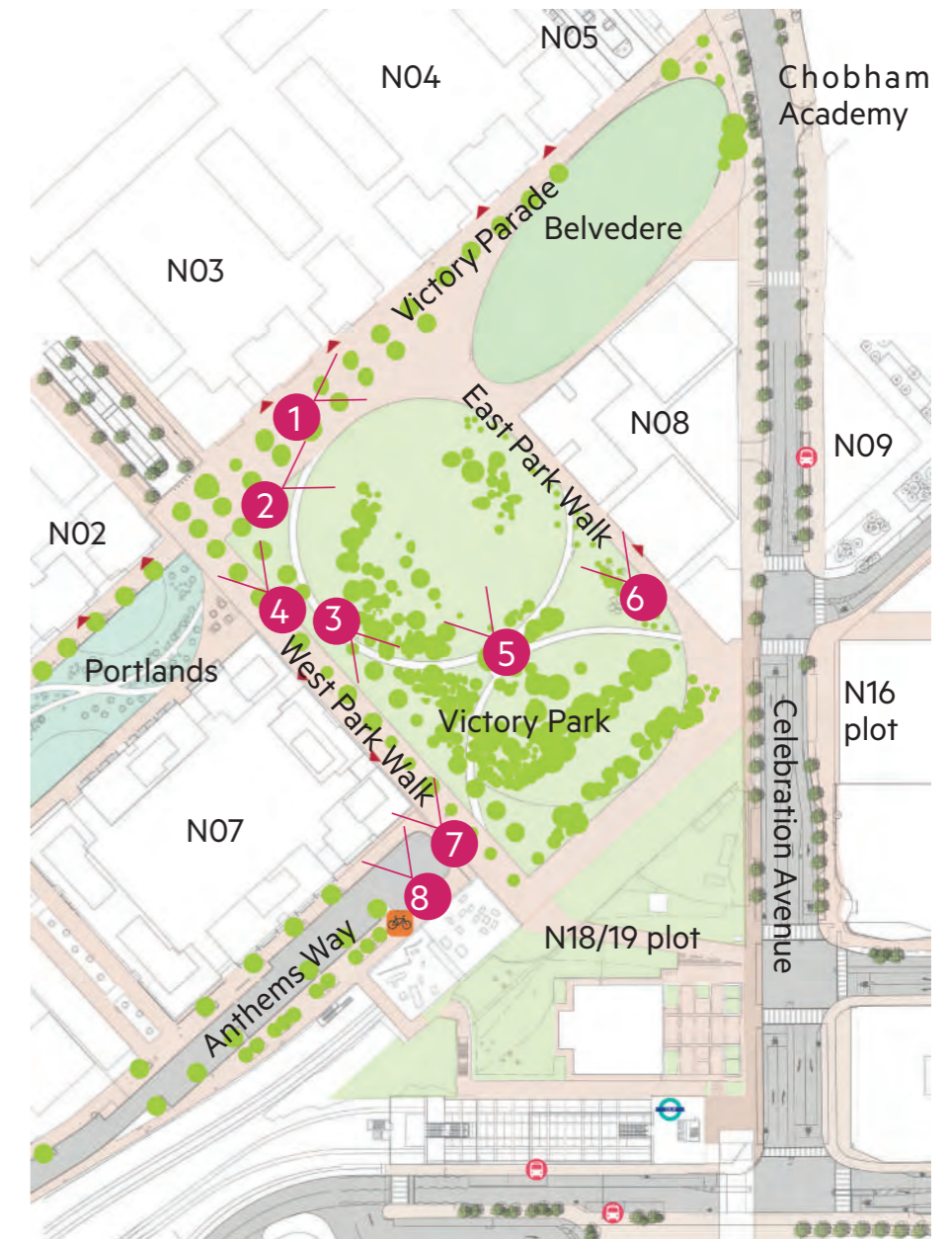


Figure 15. Plan indicating the location of the images



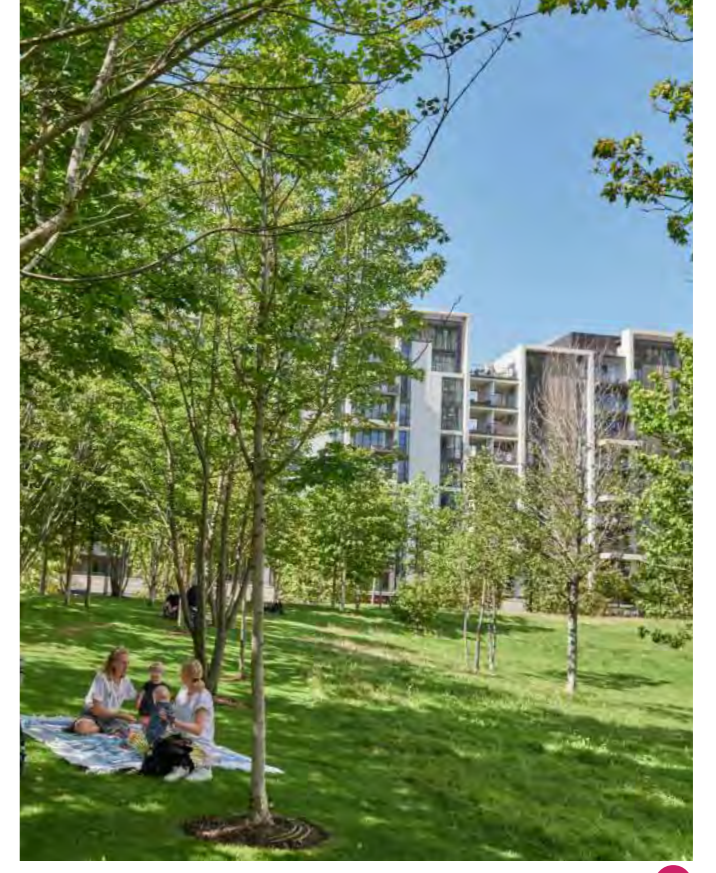
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3.3 SITE FEATURES - BELVEDERE

- 3.3.1 The Belvedere forms the north-eastern end of the central axial open space through East Village and is approximately 55m wide from the N04 building line to N08. The Belvedere is bounded by residential Plots N04 and N05 to the north. The ground floors of these plots are occupied by retail units that fall within the designated East Village Local Centre. The northeast is bounded by Celebration Avenue (a two-way carriageway that runs in a north-south alignment, connecting to the wider highway network in the area), beyond which lies Chobham Academy. The south of the Belvedere is bounded by residential Plot N08, whilst the southwest is leads to Victory Parade and Victory Park.
- 3.3.2 The Belvedere currently comprises a large lawned area and includes a Local Equipped Area of Play (“LEAP”), an unsupervised area for play for children of early school age between 4 and 10 years old. This is, however, a temporary solution until the more permanent proposals (as proposed within this DAS) are implemented.
- 3.3.3 The area benefits from being along a pedestrian route to and from Chobham Academy to the northeast and along the central axis through East Village. It also benefits from natural surveillance from the adjacent public thoroughfares, overlooking surrounding residential plots, and N08.
- 3.3.4 The ground floors of Plot N04 comprise three retail units, two of which are currently occupied by Santi and the Fish House. The ground floors of Plot N03 comprise three retail units, which are currently occupied by The Darkhorse Restaurant, Chop Shop and Mother Kelly’s (this is currently vacant). Further retail units are located within the ground floor units of adjacent plots located along the central axis through East Village (e.g. Plots N04 and N07).
- 3.3.5 The ground floor north-west elevation of Plot N08 (which bounds the Belvedere along the southeast) comprises a combination of retail and leisure units together with residential lobbies.
- 3.3.6 The footways around the perimeter of the Belvedere are wide,

extending to 10m along the northwestern perimeter; 11m to the northeast where it transitions and integrates with Celebration Avenue; and 6m to the southeast perimeter with Plot N08.

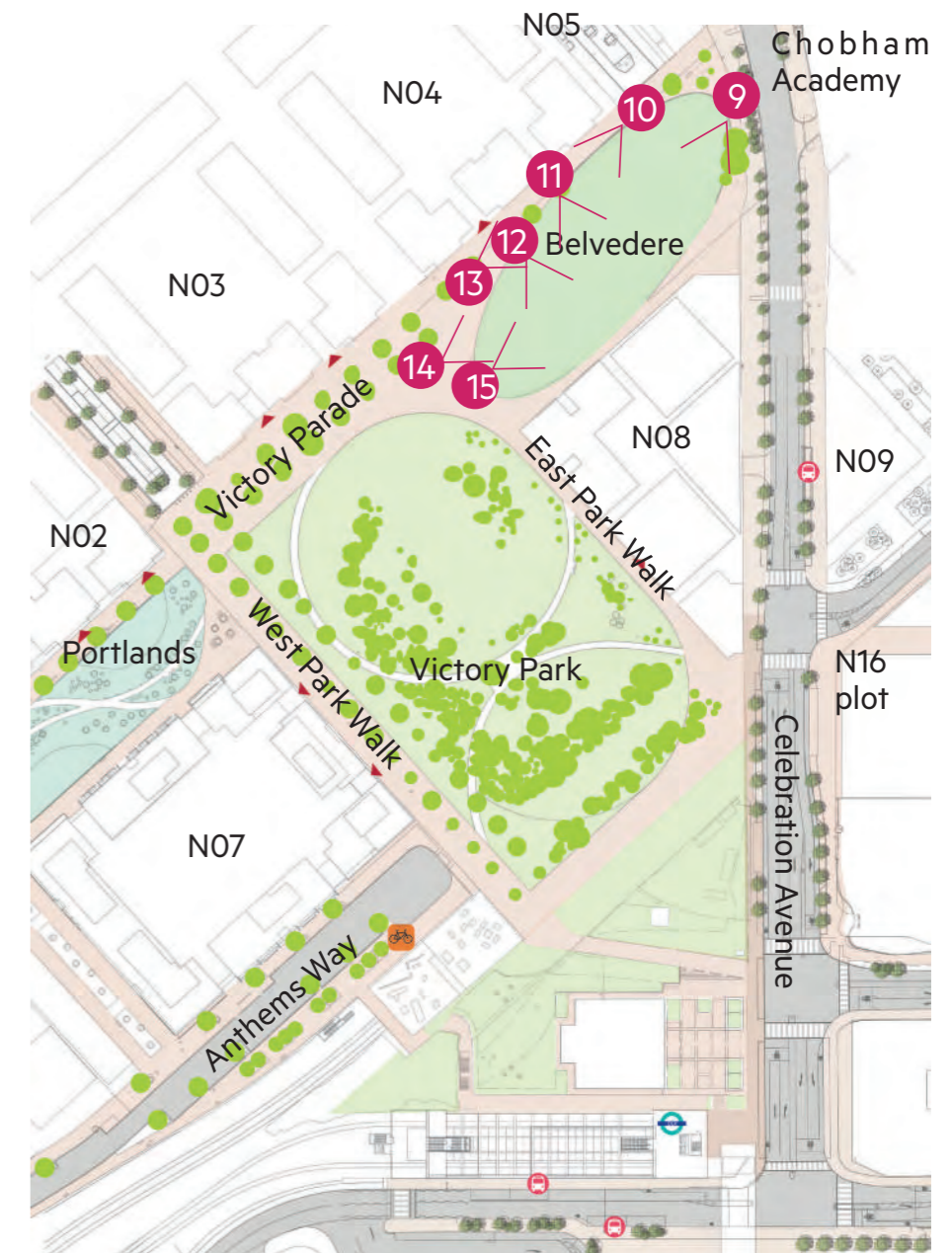


Figure 16. Plan indicating the location of the images



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4.0 Qualitative & Open Space Assessment

4.0 QUALITATIVE AND OPEN SPACE ASSESSMENT

4.1 INTRODUCTION

- 4.1.1 The existing site has many complexities which need to be understood to ensure design proposals are aligned with the current and emerging masterplan. A detailed analysis of the existing site has been undertaken to understand key constraints and identify opportunities. The following section explains key elements that have informed the emerging proposals.
- 4.1.2 The site analysis will then inform the key principles of how the design will be taken forward.
- 4.1.3 The intention is to also identify successful elements of the public realm to be retained as assets as well as identify areas for enhancements.

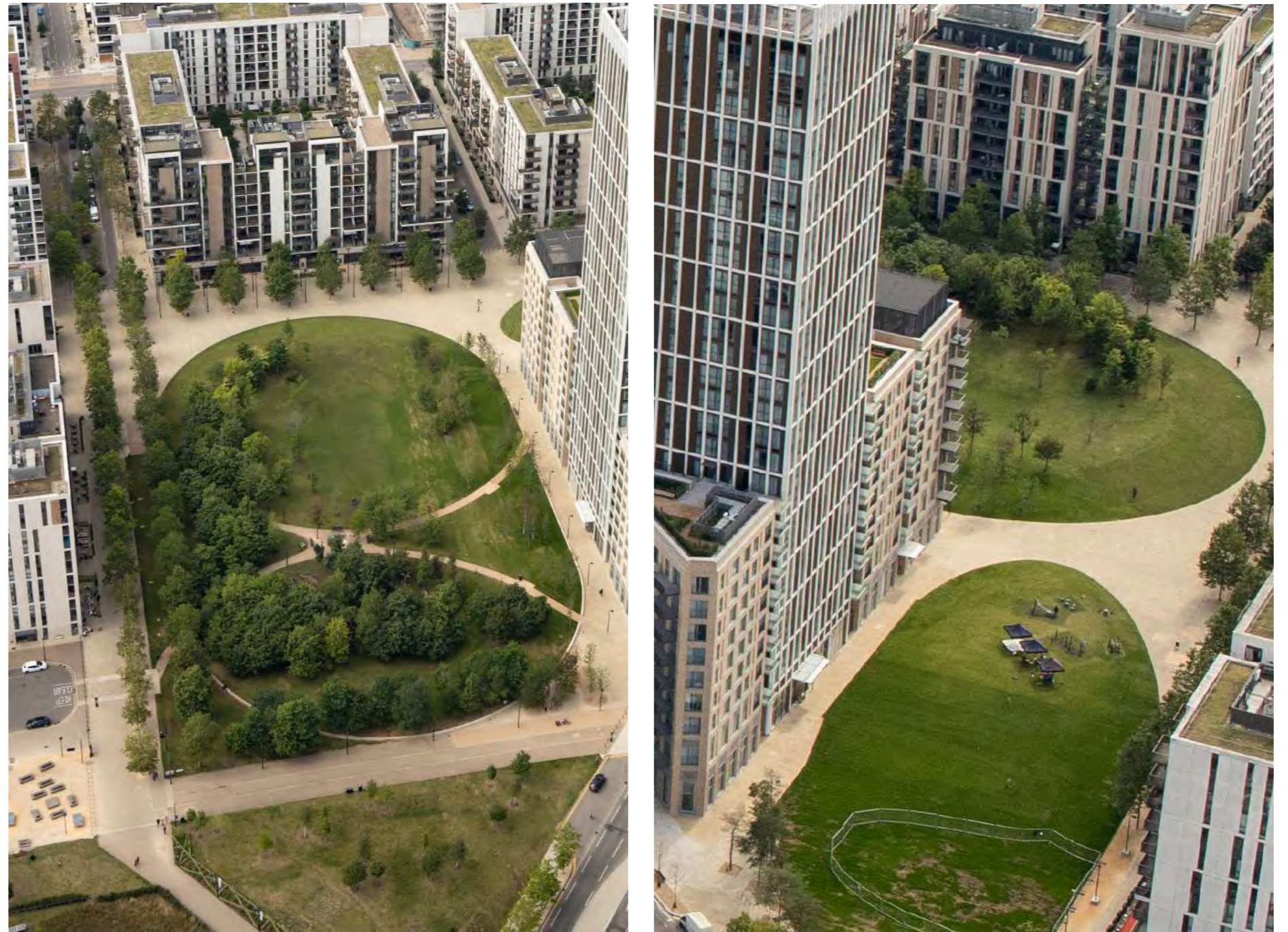


Figure 17. Aerial photography of the existing site showing the Victory Park and Belvedere areas.

4.2 EXISTING PEDESTRIAN CIRCULATION

4.2.1 The existing pedestrian circulation has been reviewed as part of the site analysis. A study of the annual and daily footfall recorded by TPP reveals the most heavily trafficked pedestrian routes. As would be expected, the route to the major transport links at Stratford International Station is the most heavily trafficked. There is generally a lack of legibility and routes facilitating navigation in the public realm. The proposal must address issues such as wayfinding. This is particularly crucial as people arrive at the site at the “entrance and orientation spaces” highlighted on the diagram, as these are the points at which people decide which route to take.

4.2.2 The following list shows the annual and daily footfall for each of the key route to the site in order of popularity.

1. Celebration Avenue
Pedestrians: Annual 4,580,085 | Anyday* 12,548

2. Victory Parade
Pedestrians: Annual 3,698,635 | Anyday* 10,133

3. Queen Elizabeth Olympic Park via Anthems Way
Pedestrians: Annual 2,640,085 | Anyday* 7,233

4 Penny Brooke Street
Pedestrians: Annual 2,102,225 | Anyday* 5,760

5. Chobham Academy
Pedestrians: Annual 1,671,233 | Anyday* 4,578

* Data: Source ‘East Village Research 2019’

* Data: Source ‘East Village Research 2019’

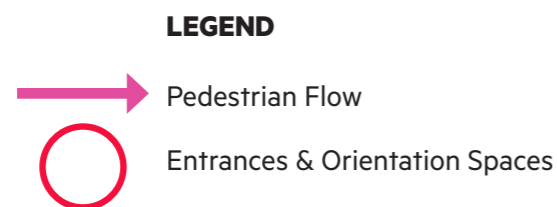


Figure 18. Diagram illustrating existing pedestrian circulation

4.3 EXISTING CYCLING CIRCULATION

4.3.1 The cycling network currently in place corresponds largely with the original strategy for the Athletes village as this was developed as a long term strategy which took into account the final built out capacity of the masterplan. The strategy includes cycle lanes in Celebration Avenue and Liberty Bridge Road and demarcated cycle lanes in Anthems Way and Logan Close. Cyclist are not however excluded from any part of the masterplan and other cycle routes are provided as pedestrian and cycle shared routes through Victory Park, the Belvedere and Portlands. Cycle parking is provided around the perimeter of Victory Park and the Belvedere. A Santander cycle hire docking station is located on Anthems Way. A study of the existing cycle traffic has been carried out by TPP to identify the key cycle routes.

4.3.2 The list below shows the annual and daily cycle traffic in order of popularity.

1. Queen Elizabeth Olympic Park via Anthems Way
Cycles: annual 1,148,174 | Anyday* 3,146
2. Chobham Academy
Cycles: annual 432,901 | Anyday* 1,186
3. Victory Parade
Cycles: annual 223,095 | Anyday* 611
4. Celebration Avenue
Cycles: annual 175,480 | Anyday* 481
5. Penny Brooke Street
Cycles: annual 141,518 | Anyday* 389

* Data: Source 'East Village Research 2019'

LEGEND






-  Demarcated Cycle Route
-  Cycle in a Shared Pedestrian Environment
-  Cycle Lane
-  Cycle Parking
-  Cycle Hire Parking Dock Total:250



Figure 19. Diagram illustrating existing cycle circulation



4.4 EXISTING TOPOGRAPHY

4.4.1 The site's existing topography includes a sculptural grass mound at the northern end of Victory Park. This is shown in the section below at 3.5 metres above Victory Parade at its highest point. The mound is a playful element which helps to define and enclose the central events lawn. However, due to its steep gradient of 4.3, the mound also creates a physical barrier as people approach from the north and can be an obstacle to some less able users, so it may exclude them from using this part of Victory Park. The mound also limits sight lines through the space, which impacts wayfinding and the relationship with ground floor units at the edge of the park, which are blocked from view.



The mound looking west towards the Portlands



The mound looking south east from Victory Parade

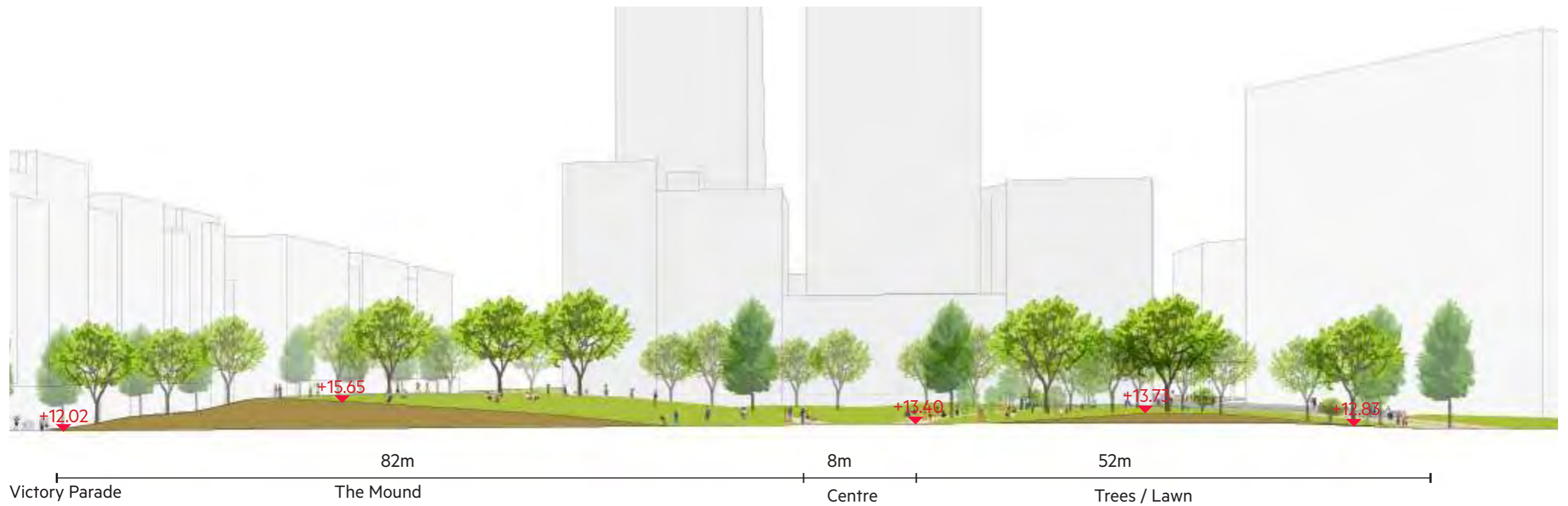


Figure 20. Illustrative section showing the existing site topography

4.5 GROUND FLOOR USES

4.5.1 East Village has a vibrant community of independent retailers, with the majority of commercial ground floor units made up of eateries, great restaurants, and cafes. Currently, the generous footpath does not seem to be creating the desired interaction between the retailers and the public realm. While The Portlands offers a better example of how the landscape could engage with the ground-floor uses, Victory Park and Belvedere are largely disconnected from the retailers. The park's perimeter path almost forms a continuous edge separating the walkway, cafes, and park from one another. There is a great opportunity to reshape the edges of the park, delivering a holistic public realm that works harmoniously for the users and the businesses of the village.

4.5.2 Although not existing, N18/19 and N16 are shown here as emerging contexts and are subject to different planning applications. As noted before, N18/19 is an RMA application, while N16 is a standalone planning application.



Figure 21. Diagram illustrating existing ground floor uses within the East Village Local Centre Boundary

4.6 EXISTING SERVICE AND EMERGENCY ACCESS

4.6.1 Although Victory Park and the Belvedere area are car-free, emergency vehicle access is required. A 5 metre path as per the diagram shown is to be maintained to allow for emergency access. This path should remain unobstructed as part of the redesigned scheme.

4.6.2 Although not existing, N18/19 and N16 are shown here as emerging contexts and are subject to different planning applications. As noted before, N18/19 is an RMA application, while N16 is a standalone planning application.



Figure 22. Diagram illustrating the existing emergency service vehicle access



4.7 PLAY STRATEGY AND PLAY SPACES WITHIN EAST VILLAGE

4.7.1 The play strategy and distribution of play spaces within East Village is well established whilst also being underpinned by requirements set out in the Section 106 Agreement for this part of Stratford City.

4.7.2 In summary the Section 106 Agreement and approved Open Space Strategy identifies the following to be provided in the public realm at East Village:

- 2x Local Area of Play (LAP) – this is provided within Prize Walk (between Plots N09 and N10);
- 2 x Local Equipped Areas of Play (LEAP) – one in the Belvedere and one at Mirabelle Gardens. Both of these have been delivered. A planning application to remodel and redesign the Belvedere was approved by the LLDC in April 2019 and has been partially implemented. This included the re-provision of a LEAP. The QRPs feedback as part of its review of those proposals suggested that it should be located further within the Belvedere citing that it could get lost within the larger setting of Victory Park. The application was approved with the LEAP located in the same general area of the Belvedere which was supported by the LLDC.
- 2 x Neighbourhood Equipped Areas of Play (NEAP) – one is provided above the High Meads Loop Enclosure (HMLE). The application proposals propose to relocate this more centrally within East Village in Victory Park. Reserved matters approval (RMA) exists for a further NEAP immediately adjacent to Plot N05 (currently under construction) and within approximately 80m of the LEAP within the Belvedere.
- It is also worth noting that an additional LAP has been provided within Ravens Walk (between Plots N06 and N07) – it was originally identified as being located within the courtyard of Plot N06. However, the design of Plot N06 identified that a more appropriate and suitable location would be in the public realm.

- With the exception of the NEAP at Plot N05 and N06 LAP, all other play areas have been delivered and open to the public since 2013.
- Plot N05 NEAP. There are three play zones proposed within the Plot 05 public realm and NEAP. Each of these spaces provides for a range of ages from 2 to 16. The proposed central flexible space connects the 2-6 age group with the 7-12 age group by providing a range of uses and potential activities for all ages.
- Belvedere LEAP. (local equipped area for play) The LEAP comprises 320 square meters of unsupervised play space for children of early school age (aged 4 to 10 years old). The space is designed to include at least 5 different types of play equipment, including above ground ropes course and a large dish roundabout.
- Long Park LAP. Designated for young children (aged 4 to 6 years old) for play activities close to where they live. It includes small scale climbing elements and a play castle.

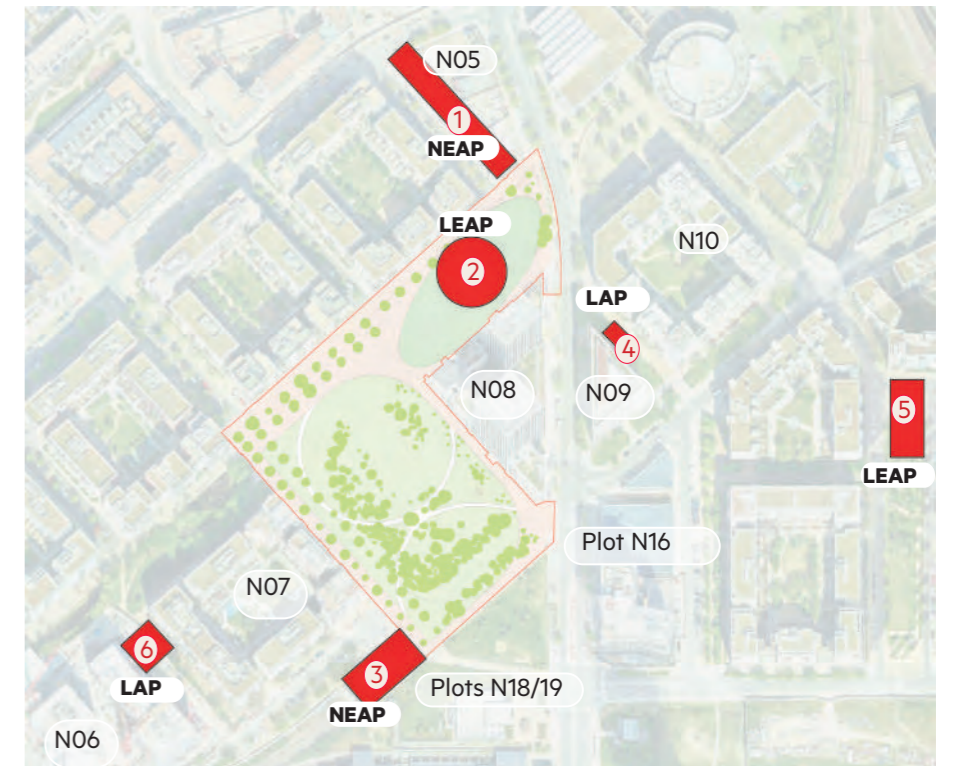


Figure 23. Diagram illustrating play spaces within East Village



Proposed and approved play provision - N05 NEAP

Plot N05 NEAP. There are three play zones proposed within the Plot 05 public realm and NEAP. Each of these spaces provides for a range of ages from 2 to 16. The proposed central flexible space connects the 2-6 age group with the 7-12 age group by providing a range of uses and potential activities for all ages. The playing space comprises:

Play Zone 1: The Cloud

- Climbing
- Lounging
- Hammocks
- Netting Forests

Play Zone 2: The Lake

- Sunken surface
- Water jets sprayers on the grid
- Ball games, skating

Play Zone 3: The Hills

- Climbing elements, netting, tubes
- Trampolines
- Hide and seek
- Maze - structure



Existing provisional Belvedere LEAP

Plot N05 NEAP. The LEAP comprises 320 square meters of unsupervised play space for children of early school age (aged 4 to 10 years old). The space is designed to include at least 5 different types of play equipment, including above ground ropes course and a large dish roundabout.

Climbing Area

- Slides
- Netting Forests
- Climbing
- Netting Forests
- Viewing towers
- Playsound



Existing Victory Park NEAP

Victory Park NEAP. It provides for a wider age range and includes elements for fitness. It is well used by residents, and fitness classes can be seen using the area, along with older children.

Balance Board

- Hanging obstacle course element
- Cross Trainer
- Step / Sit Up Bench
- Leg Lift and Pull Up
- Climbing Obstacle
- Ping Pong tables



Existing play provision - Stratford Green LEAP

Stratford Green LEAP has been delivered as part of the legacy development after the 2012 Games.

The delivered play space comprises of:

- Play huts
- Swale crossings
- Stepping logs
- Stone circle
- Timber arch
- Cradle swing



Existing play provision - Long Park LAP

The Long Park LAP has been delivered as part of the legacy development after the 2012 Games.

A LAP means a local area for play of not less than 100m2, being a small area of unsupervised open space specifically designed and designated for young children (aged 4 to 6 years old) for play activities close to where they live, designed and laid out to meet the relevant safety standards for play facilities and safety surfacing and to include seating for supervising adults.

- Small scale climbing elements
- Play castle
- Cradle swing
- Sand Play



Built play provision - N06 LAP

Ravens Walk LAP. It comprises an area adjacent to N06 and it has been delivered as part of the development

The delivered play space comprises of:

- Play space with slides
- An array of different seating arrangement
- Different areas for informal play

4.8 EXISTING ARTWORK FEATURES

4.8.1 There are important artworks existing in the public realm such as the mirror maze and the gorilla sculpture which need to be incorporated into the public realm redesign.

4.8.2 Mirror Maze

- The Mirror Maze is an art installation by Danish artist Jeppe Hein. It comprises 168 freestanding posts of high-grade steel polished mirrors. The freestanding mirrors are arranged to form a maze-like structure of five concentric lines of varying heights. Visitors can enter the mirrored labyrinth through several entrances and exits and follow the corridors into the centre. The mirrored surfaces reflect the people, the surrounding area, as well as the other mirrored installations in multiple ways. To a certain degree, the labyrinth blends into its surroundings and becomes partially invisible. The sculpture encourages interaction and participation. The intention is for the mirror maze to be relocated and incorporated into the new design of Victory Park/Belvedere.

4.8.3 Gorilla Sculpture

- The Gorilla sculpture, located at the centre of the park, will also be relocated within the redesigned park.



The Gorilla sculpture



The Mirror Maze



Figure 24. Diagram illustrating locations of existing artwork

LEGEND

- Mirror Maze (105sqm)
- Gorilla Sculpture

4.9 EXISTING SOFTSCAPE

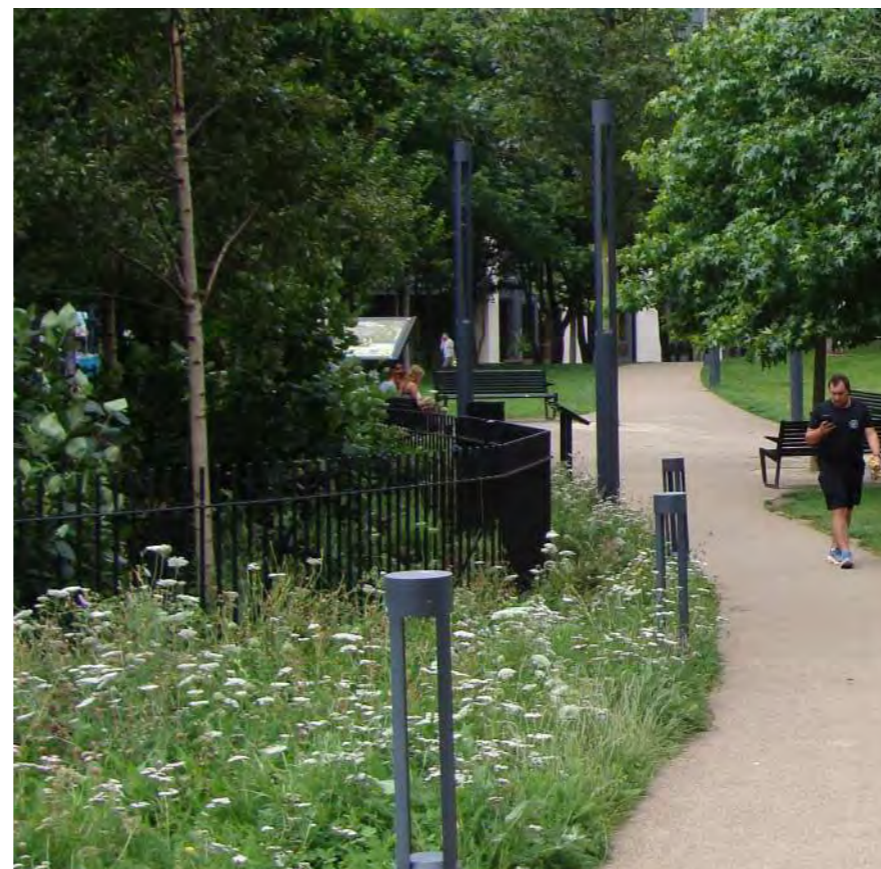
4.9.1 The original planting design for Victory Park and the Belvedere replicated areas of woodland with large areas of amenity lawn for events. As the canopies of the trees have grown, in some areas, sunlight has been restricted. In these areas, the grass has begun to fail. In other areas, the grass is in better condition but with drainage problems during the winter months.

4.9.2 There is an area of habitat fenced off and inaccessible to the public which has been dedicated to ecological planting. This habitat area comprises hives, log habitats, and wildflowers. The area is the most ecologically rich in Victory Park and Belvedere. It is the intention to retain and relocate the habitat area within the proposals.

4.9.3 There are opportunities to increase the biodiversity of the site through additional areas of under storey planting and by increasing the species diversity of the planting palette to provide greater ecological value..



Dense tree canopy where grass has begun to fail.



Fenced wildlife habitat area



Amenity Lawn within Victory Park

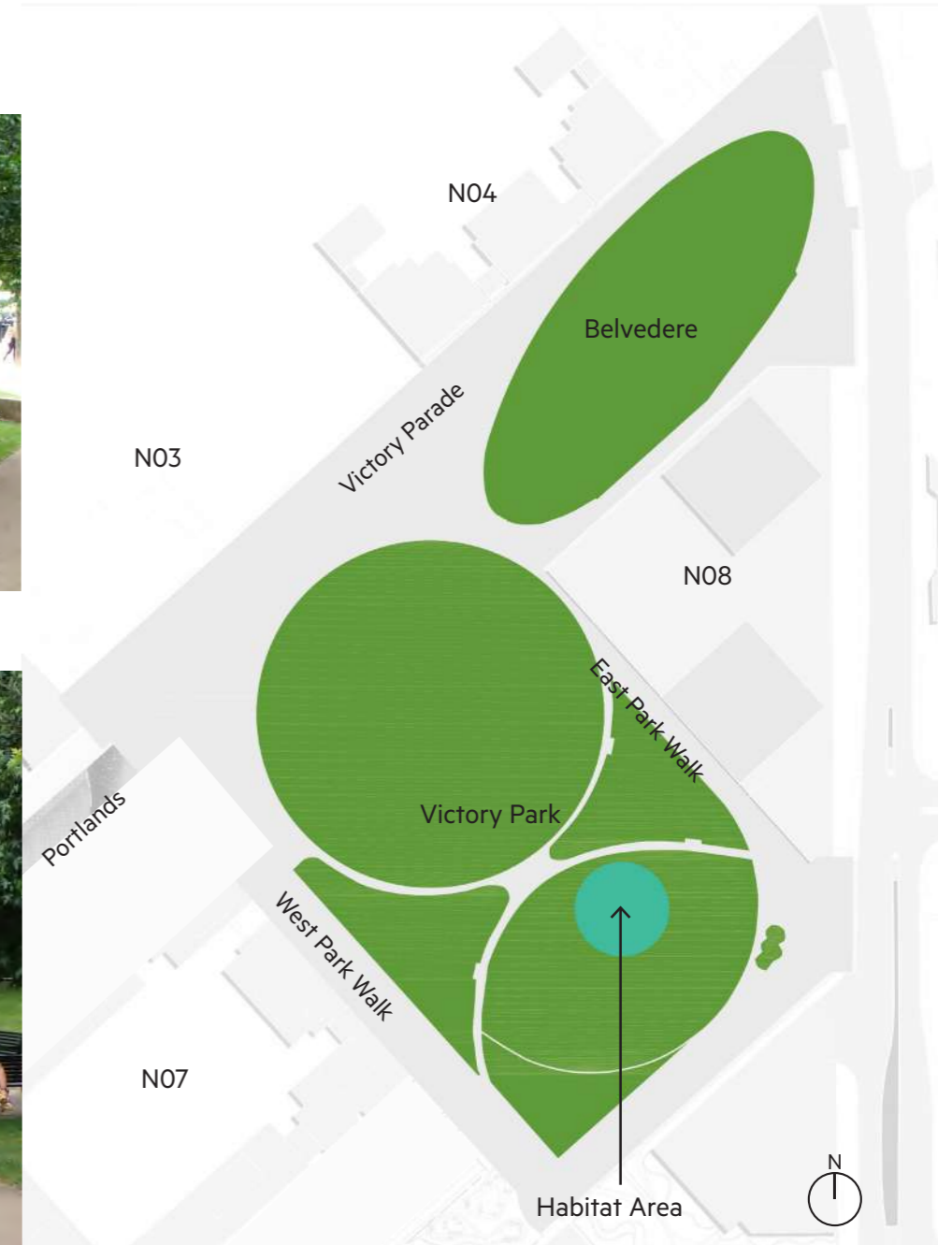
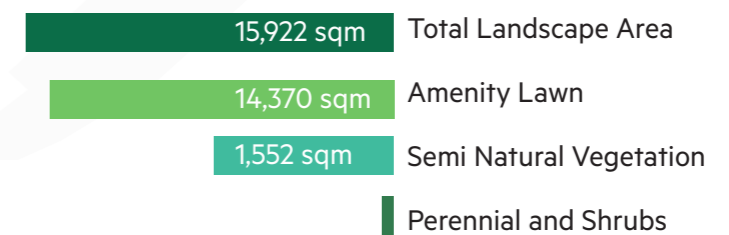


Figure 25. Diagram illustrating existing soft landscape types



4.10 EXISTING TREES

- 4.10.1 A Tree Condition survey of the existing trees within the site was completed by Gavin Jones Arboriculturalist in February 2022.
- 4.10.2 A total of 304 off site individual trees and one group were inspected and recorded. The trees inspected are all broadleaves of similar maturity.
- 4.10.3 West and East Park Walk consist of two large avenues of *Platanus x hispanica*, London Plane trees which are planted at equal spacing along Victory Parade and West Park Walk. There are also groves of tightly planted woodland like trees within areas of lawn. They comprise several species such as *Betula pendula*, *Acer accharum*, *Acer platanoides*, *Alnus glutinosa*.
- 4.10.4 It was noted that some trees are constrained above ground due to the close proximity of the canopies. This could be improved by thinning the canopy in some areas to facilitate the long term healthy growth and development of the trees.
- 4.10.5 Please refer to the Arboricultural Impact Assessment (AIA) prepared by Gavin Jones for further details.

| BS Category | Number of individual trees | Tree Groups |
|-------------|----------------------------|-------------|
| A | None | None |
| B | 70 | None |
| C | 219 | 1 |
| U | 15 | None |

Figure 27. The trees have been categorised as per this extract from the condition survey




West Park Walk - Tree lined avenue of London Plane



Tightly planted grove of trees in Victory Park



Figure 26. Diagram illustrating the location of existing trees

 Existing Tree

4.11 EXISTING URBAN GREENING FACTOR

4.11.1 The Urban Greening Factor of the existing site has been calculated as part of a review of the sites existing green infrastructure. The Urban Greening Factor for the existing scheme is 0.44. While this is above the minimum for residential developments (0.4), there is an opportunity for this to be further improved.

4.11.2 With the exception of the more ecologically rich planting in the habitat zone (c. 450 sqm), the rest of Victory Park and Belvedere have large areas dedicated to amenity lawn, which scores low in the UGF matrix. The new design will change the proportion of amenity lawn, favouring perennials, pollinators and a variety of trees.

4.11.3 To calculate the overall UGF score, the factor for each surface covered within a site is multiplied by its area. This generates a series of figures which are then added together. This new total is then divided by the site's overall site area to give a UGF score. This score can then be compared with a target set by the planning authority.

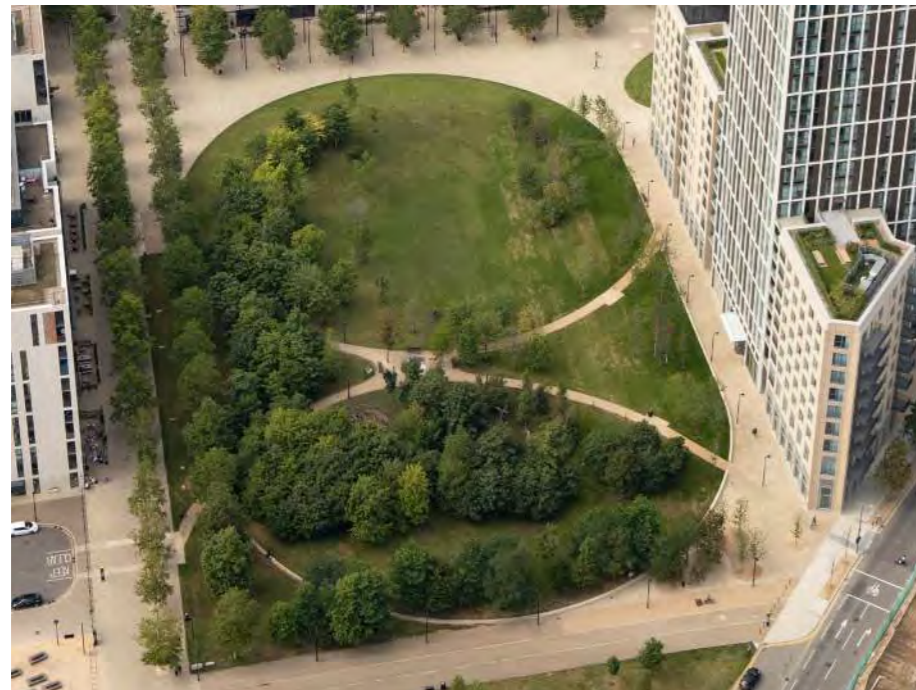


Figure 28. Aerial view of Victory Park with its current design

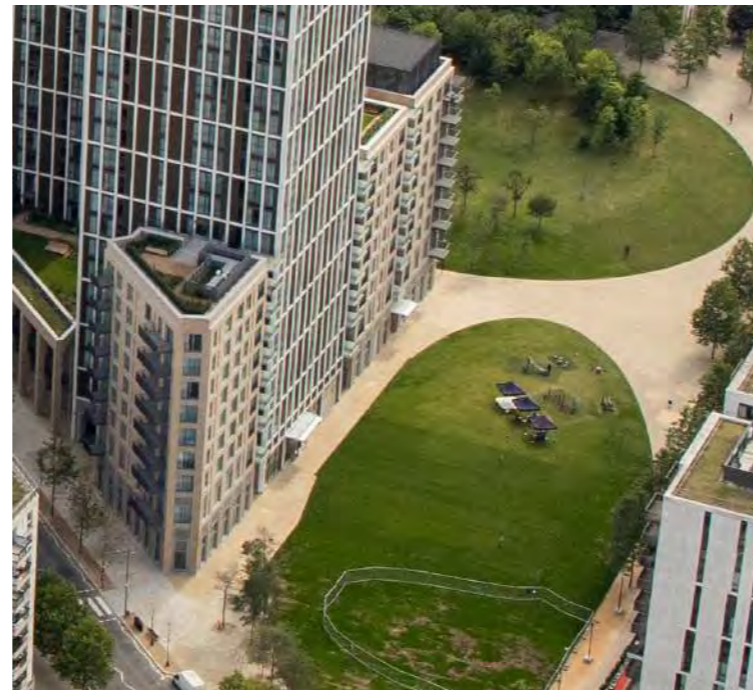


Figure 29. Aerial view of Belvedere with its current design

| Urban Greening Factor Calculator | | | | |
|----------------------------------|---|--------|-----------------------|--------------|
| Key | Surface Cover Types | Factor | Area (m2) | Contribution |
| | Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site. | 1 | 1552 | 1552 |
| | Wetland or open water (semi-natural; not chlorinated) maintained or established on site | 1 | 0 | 0 |
| | Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm. | 0.8 | 0 | 0 |
| | Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree. | 0.8 | 4901 | 3921 |
| | Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014. | 0.7 | 0 | 0 |
| | Flower-rich perennial planting. | 0.7 | 0 | 0 |
| | Rain gardens and other vegetated sustainable drainage elements | 0.7 | 0 | 0 |
| | Hedges (line of mature shrubs one or two shrubs wide) | 0.6 | 0 | 0 |
| | Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree | 0.6 | 0 | 0 |
| | Green wall –modular system or climbers rooted in soil. | 0.6 | 0 | 0 |
| | Ground cover planting. | 0.5 | 0 | 0 |
| | Amenity grassland (species-poor, regularly mown lawn). | 0.4 | 14371 | 5748 |
| | Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014.1 | 0.3 | 0 | 0 |
| | Water features (chlorinated) or unplanted detention basins. | 0.3 | 0 | 0 |
| | Permeable paving. | 0.1 | 0 | 0 |
| | Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone) | 0 | 0 | 0 |
| | | | Total Contribution | 11221 |
| | | | Total site area (m2) | 25097 |
| | | | Urban Greening factor | 0.44 |

- LEGEND
- Semi natural vegetation
 - Standard trees
 - Amenity grassland
 - Existing trees to be removed
 - Existing trees to be retained

Amenity lawn with play equipment

Mound with amenity lawn equipment

Habitat zone c. 450 sqm

Mirror Maze (public art) in amenity lawn



Figure 31. Diagram illustrating the existing UGF in Victory Park

4.12 EXISTING HARDSCAPE

4.12.1 Victory Park and Belvedere are both framed by a perimeter of hardscape areas made from natural stone paving. These walkways were originally designed to accommodate the large pedestrian footfall and crowds of the 2012 London Olympics, but now they are out of proportion in a neighbourhood context. The spaces and avenues are now too large for the amount of footfall. Victory Parade is too exposed, with hard landscaping stretching approximately 40 metres at its widest point and 22 metres at its narrowest. West Park Walk has a width of approximately 12 meters, while East Park Walk has over 6 metres of clear footpath width. Such large spaces feel sterile and could be better utilised within the design. Large areas of hard landscaping also disconnect the ground-floor retail units from the greenery of their park setting. The new design will need to address the hardscape strategy by tackling the challenges described and looking to reduce the amount of hard landscaping and better connect the ground floor of the surrounding buildings with the greenery of the park.



West Park Walk looking South



Victory Parade looking West towards Portlands showing a expanse of hard landscaping.



Victory Parade looking North East towards the mound and the Belvedere beyond.

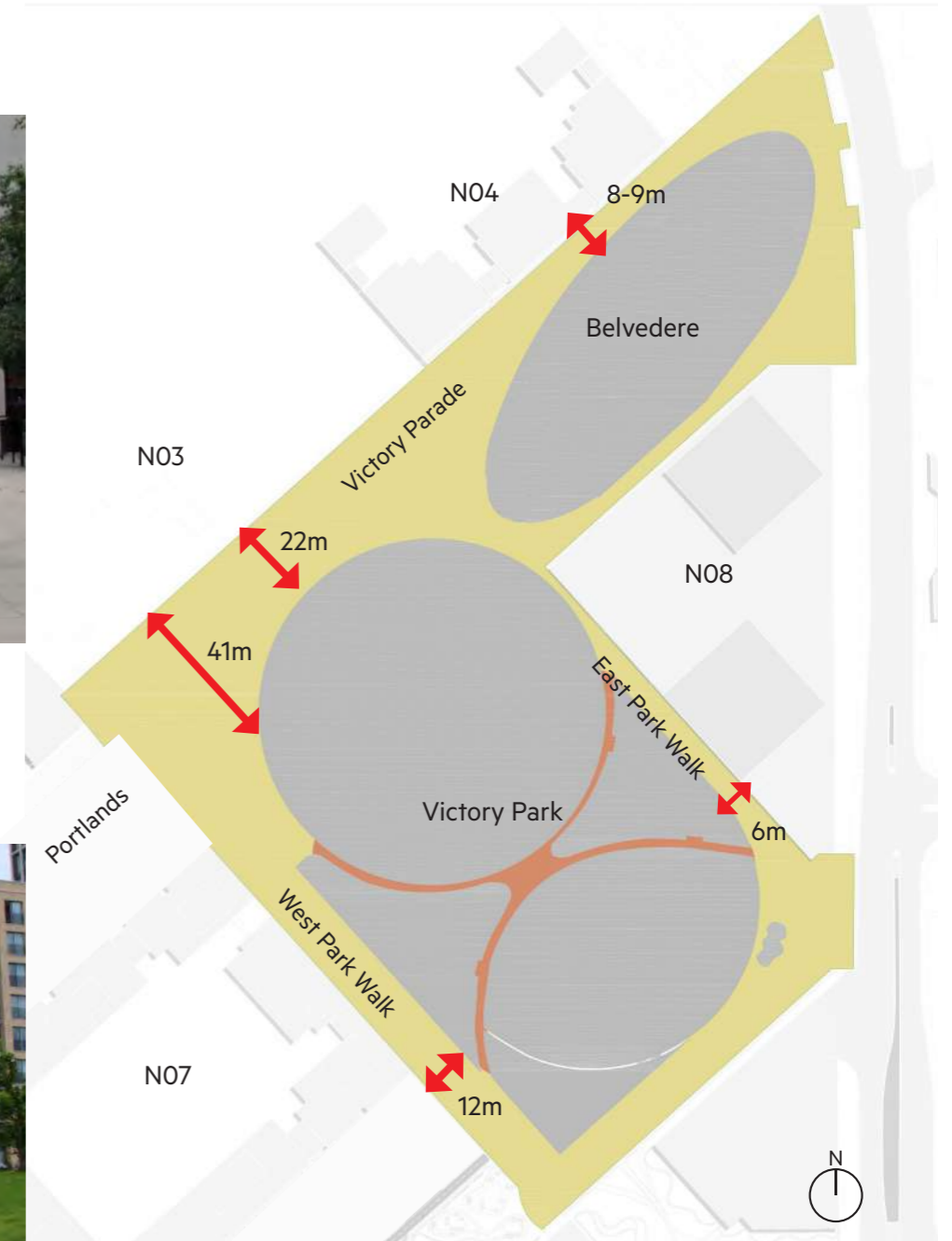


Figure 32. Diagram illustrating extent of the existing hard landscaping types

LEGEND

- 10,922 sqm Total Hardscape Area
- Resin Bound Gravel
- Natural Stone Pavers

4.13 EXISTING SITE WIND ANALYSIS

4.13.1 A wind microclimate analysis has been undertaken by FD Global of the existing site to assess the current comfort levels and inform the public realm proposals. The assessment on this page shows the wind conditions on the existing site in summer and the worst seasonal comfort scenarios.

4.13.2 The existing design has generally an acceptable performance in the “summer comfort” scenario, with most areas suitable for short- or long-term standing or sitting (indicated in green and blue respectively).

4.13.3 Windier comfort levels suitable for strolling are recorded in the Belvedere area in the ‘worst comfort’ scenario (indicated in yellow).

4.13.4 The wind analysis has informed the programmable areas and the design. In that sense, it is worth mentioning the positive effect of the mound, which contributes to a relatively good performing area comprising the whole park except for a stripe towards the west, extending from the junction between Victory Park and Belvedere and up to Victory Park and Celebration Avenue. On the other hand, Belvedere does not have the same performance as Victory Park. The lack of trees and any other 3D elements except the play area makes it relatively windy. There is an opportunity to improve Belvedere’s performance with a new landscape arrangement.

4.13.5 The analysis as explained above suggests that the best areas for programmable spaces at Victory Park are located in an zone comprising the central axis of the park from north to south as well as the eastern side adjacent to East Park Walk. This area is primarily occupied by trees, and the location of large programmable spaces here could lead to a great loss of trees, which makes the central axis the best area to locate the main activities of the park.

Belvedere would benefit from the creation of a green armature and the addition of trees to mitigate the current windy conditions.

4.13.6 Please refer to the Wind Microclimate Assessment by FD Global for further details.



Figure 33. Summer Comfort Scenario

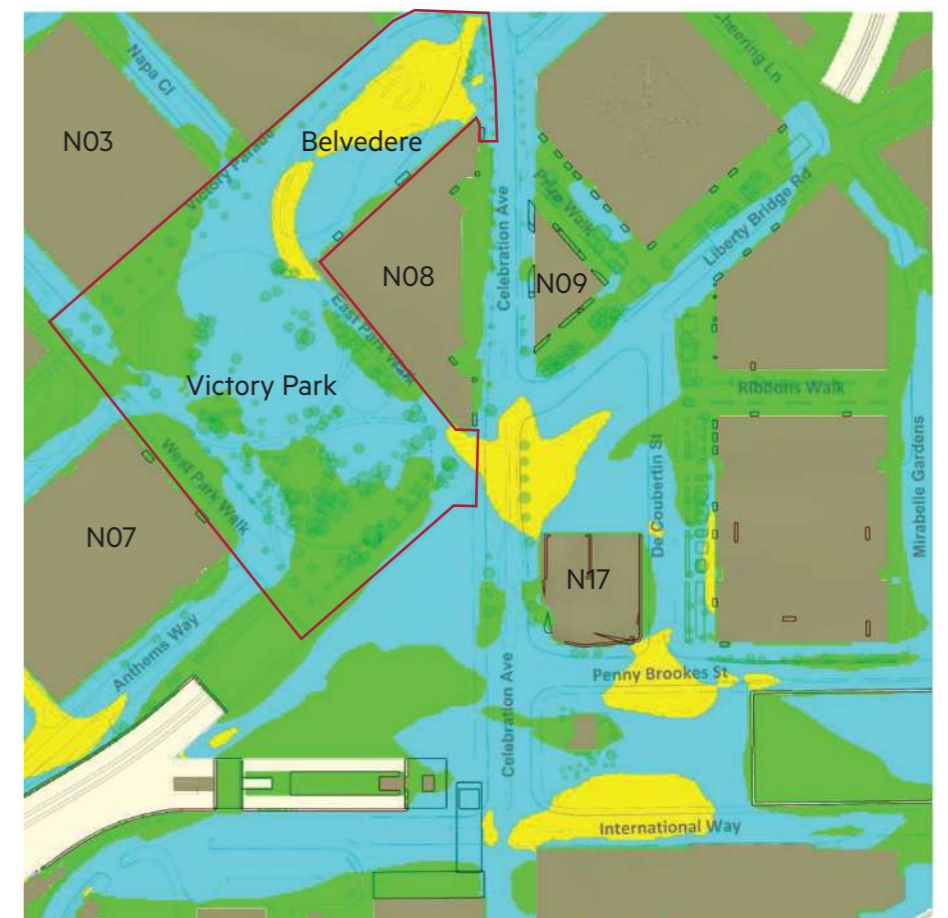


Figure 34. Worst Seasonal Comfort Scenario



C-4 Long-term standing / sitting, 0-4 m/s

C-3 Short- term standing / sitting, 4-6 m/s

C-1 Leisure thoroughfare/ strolling, 6-8 m/s

C-3 Pedestrian transit / thoroughfare (A-B), 8-10 m/s

— Planning Application Boundary

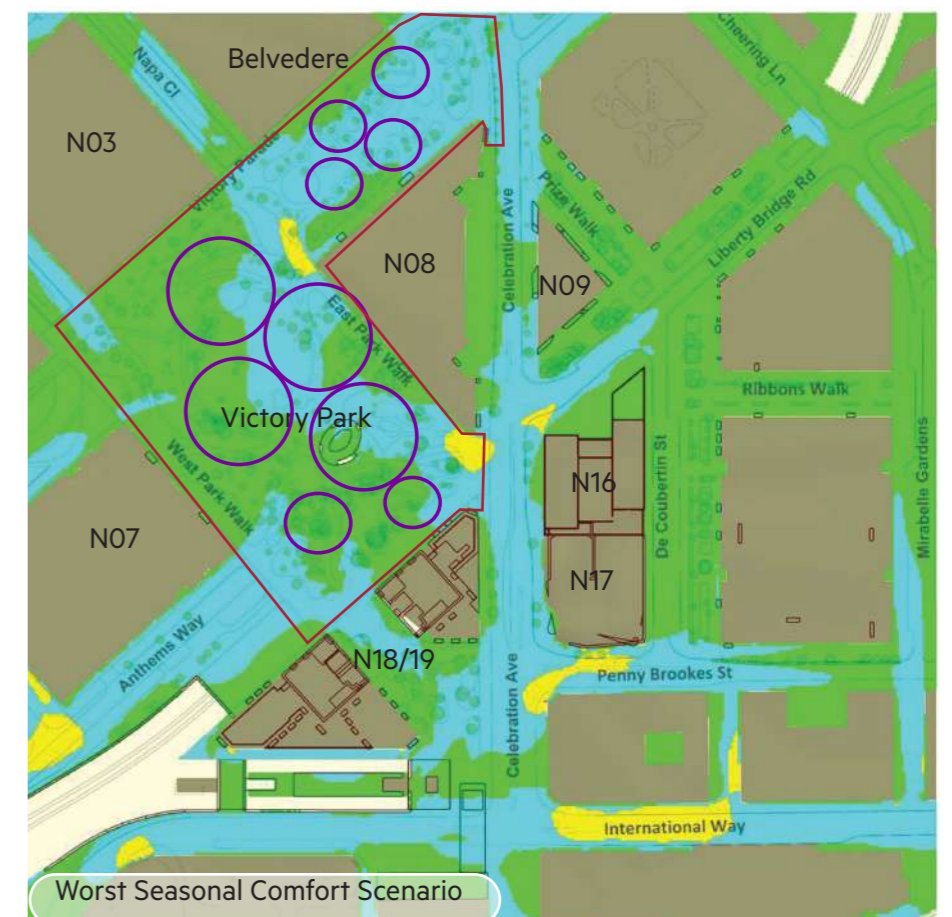
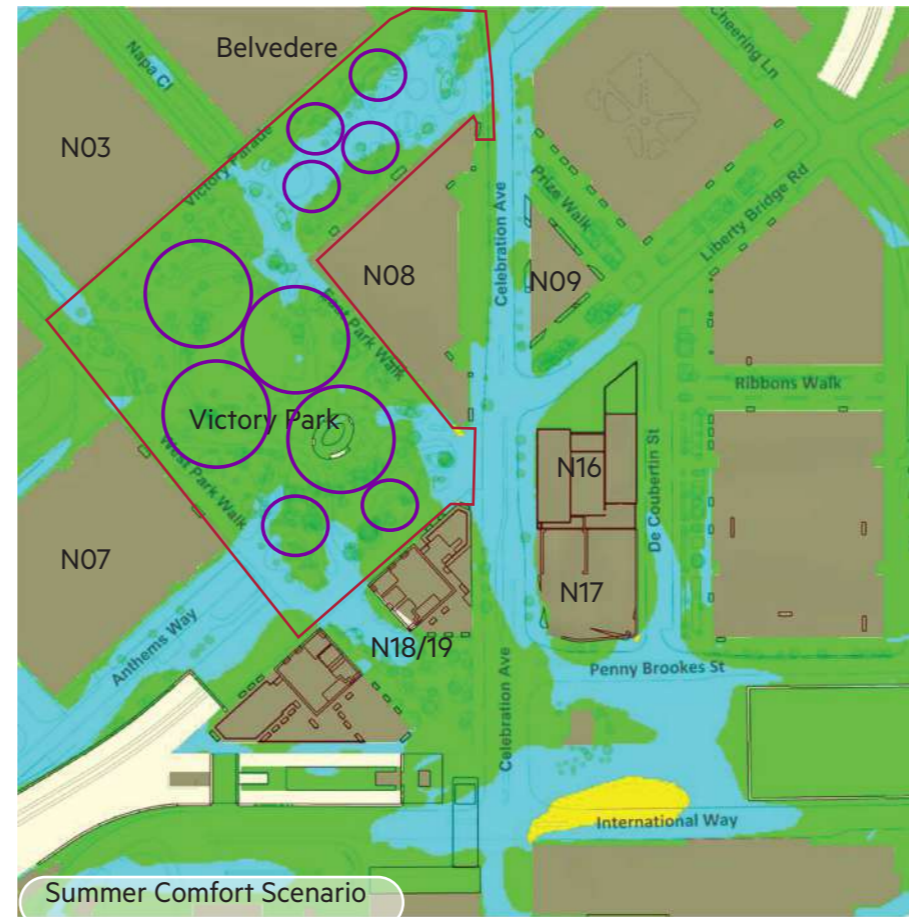
4.14 WIND ANALYSIS WITH THE EMERGING PROPOSALS.

4.14.1 The proposals have been assessed with the new and emerging proposals for Plots N18/19 and N16 to ensure a robust and comprehensive analysis. These findings have informed the areas of the public realm suitable for activities.

4.14.2 The scheme performs particularly well in the areas where the majority of the programme has been located, highlighted in purple on the diagram. The proposal also improves the performance of the current scheme.

4.14.3 The analysis of the proposed design indicates that the new main components of the design are successful at improving the wind conditions across Victory Park and Belvedere. As in the existing analysis, the best areas for programmable spaces are located in the central axis and the east axis. As it will be detailed further in the document, an active spine has been created in the central axis.

In Belvedere, the new layout with a green perimeter, new trees, and trellis has a positive effect, improving substantially the conditions in both the best and worst case scenarios.



C-4 Long-term standing / sitting, 0-4 m/s



C-3 Short-term standing / sitting, 4-6 m/s



Potential programmable spaces



Planning Application Boundary



C-1 Leisure thoroughfare/ strolling, 6-8 m/s

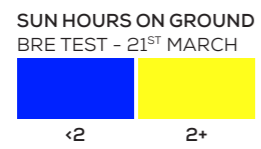


C-3 Pedestrian transit / thoroughfare (A-B), 8-10 m/s

4.15 SUN EXPOSURE

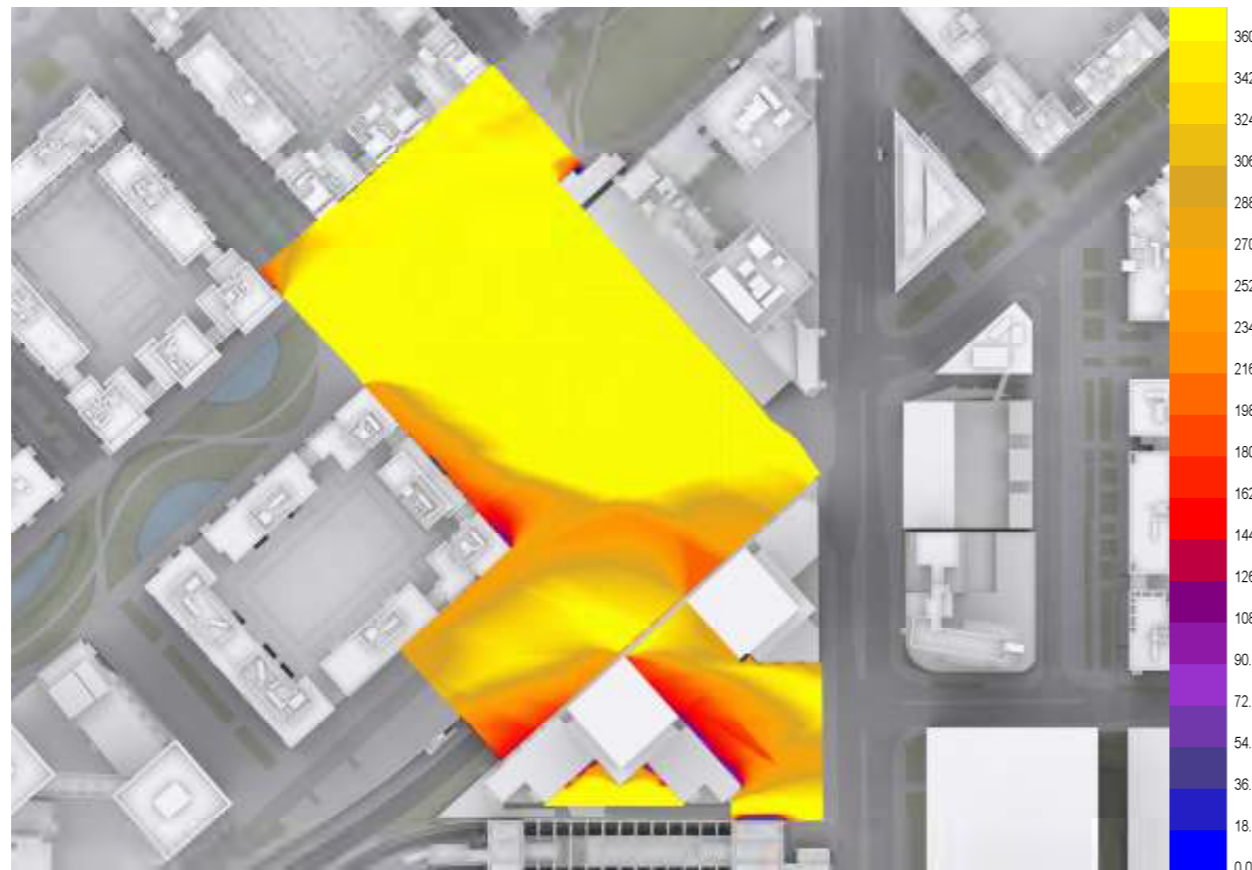
4.15.1 The solar analysis includes the future development of N18/19. The park scores well in terms of sun exposure. Particularly adequate are the areas comprising the mound, the Community Hub, and particular areas of the NEAP. This has been key to the location of the programmable areas in order to create pleasant spaces during the summer but also spaces that are appealing during the darker winter months.

It is worth mentioning that Victory Park was always planned to be surrounded by dense residential developments. However, this assessment identifies which areas are more suitable for certain activities and helps inform the planting palette.

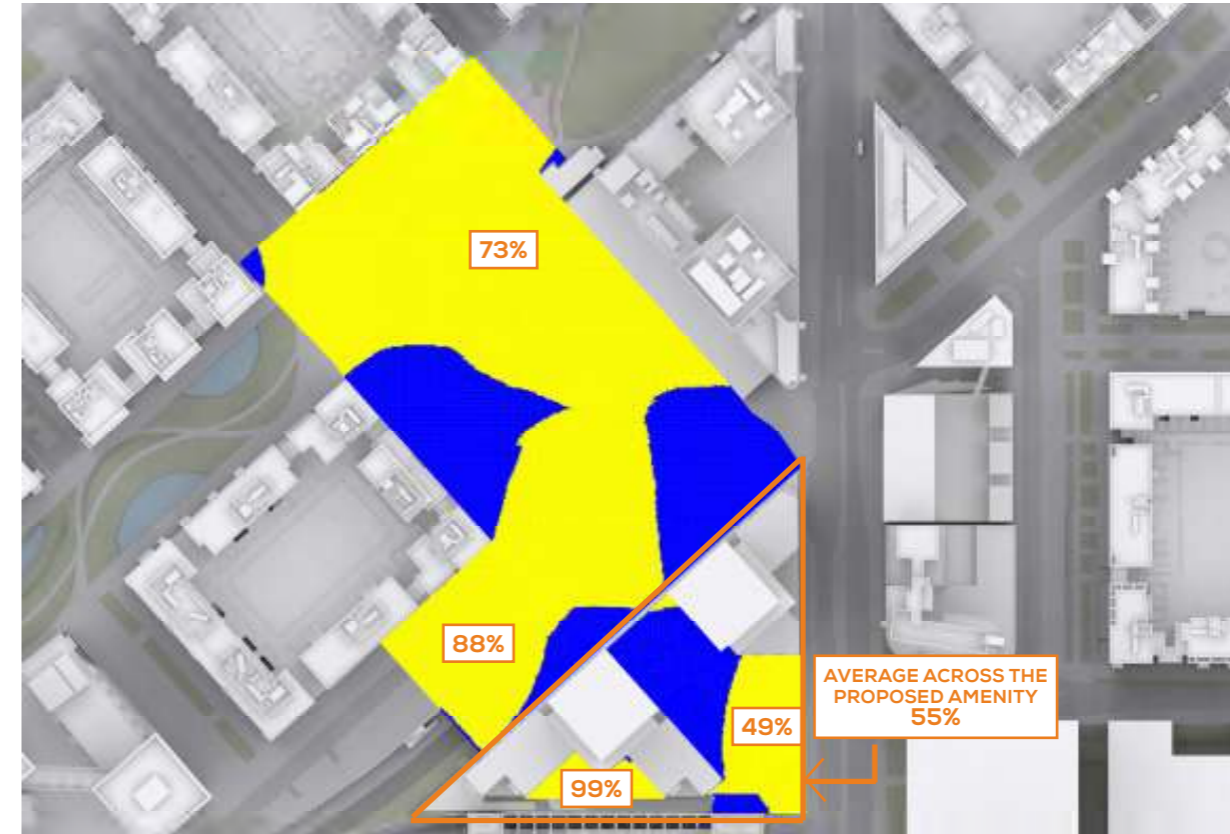


(BRE RECOMMENDS 2+ HOURS OF SUNLIGHT ON 21ST MARCH FOR AT LEAST 50% OF THE OPEN SPACE)

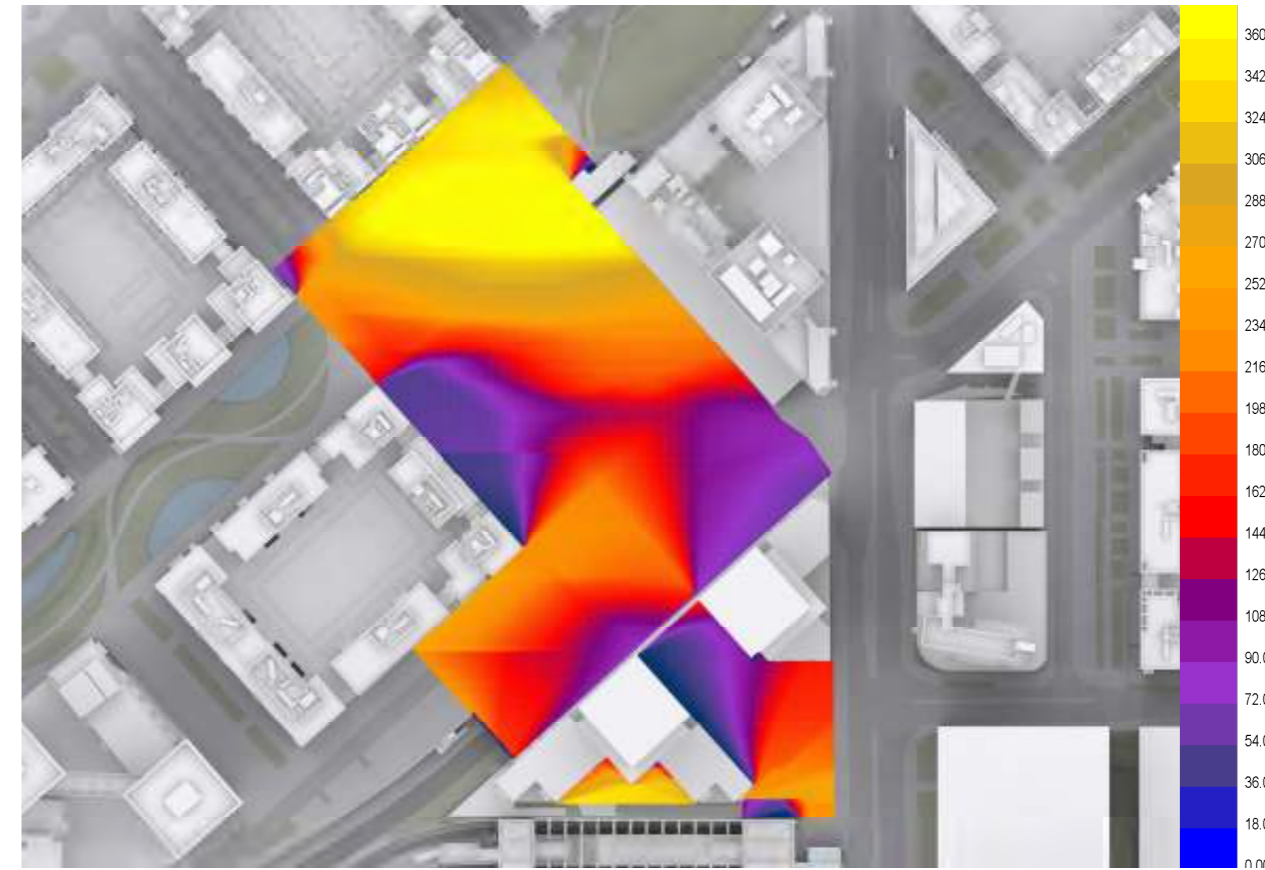
Sun Exposure on ground 21st June



Sun Hours on Ground - BRE test



Sun Exposure on ground 21st March



4.16 EXISTING UTILITIES

4.16.1 The existing underground utilities that run through the park are shown on the diagram. The majority of the utilities do not impose a great impediment to the redevelopment as they are below ground. Tree planting locations will be considered along with the location of the existing service. There is a provision for an event space in Victory Park through the provision of pop-up utilities, i.e., power, etc.

4.16.2 A topographical survey was undertaken by Plowman Craven, dated 25/01/22, Revision B. This survey indicates the site wide existing levels and indicates the locations of existing surface water drainage infrastructure across the site. The survey states that the levels are in metres and are based on Ordnance Survey Newlyn Datum, the survey grid, is referenced to the Ordnance Survey (OS) National Grid at Site Centre. Refer to the latest Plowman Craven drawings (Appendix B) for further information on which the strategy is reliant. Information herein with respect to the existing infrastructure within and surrounding the development site has been established following the review of various surveys, investigative reports, and asset records.

Figure 34 indicates the existing utilities with the current layout of Victory Park and the emerging proposals of N18/19 and N16 subject to a different planning applications. As noted before, N18/19 is RMA application while N16 is standalone planning application.

- LEGEND**
- Comms
 - Indicative Tree Pit Drainage
 - Indicative Irrigation Duct
 - EPS
 - Potable Water
 - Surface Water Sewer
 - Provision of pop-up utilities



Figure 35. Diagram illustrating existing utilities infrastructure

4.17 CONCLUSIONS

4.17.1 Overview

- Although Victory Park and Belvedere are popular green spaces, they have never been modified from their original purpose of serving the London 2012 Olympic Games. The new design aims to adapt the existing green spaces to better serve existing residents and emerging developments as part of its residential context. A review of the park's paths and circulation network will aid in the introduction of a more human scale, as well as introduce new uses and amenities to benefit residents and visitors.

4.17.2 Identity

- One of the aspects affecting the public realm is its lack of identity. The existing park comprises a generic parkland landscape of trees and lawn with little elements of interest. However, there is immense potential for the project to be able to differentiate itself from other green areas within East Village and the surrounding area by transforming a generic landscape into something unique with a clear sense of place. There are opportunities to provide bold visual cues that will help to create iconic markers that are special to the village while also reflecting its character.

4.17.3 Legibility and Connectivity

- The legibility and connectivity between Victory Park and Belvedere is poor, with no clear transitional spaces or routes facilitating orientation through the public realm. Sculptural landforms and mounds affect the navigation across the park, which means some areas do not deliver an inclusive design. The landforms also impact sight lines to retailers or commercial operators at the edges of the park. This contributes to a lack of porosity and meaningful engagement between the ground-floor uses and the landscape. An overall signage and wayfinding strategy is needed for the existing and emerging village. This is an opportunity to provide consistent visual cues while also helping people navigate toward retail and points of interest.

4.17.4 Uses

- There is an opportunity for the park to increase the usability of the space and its engagement with the community by introducing new uses and fostering a sense of communal ownership. Existing uses that surround the site, such as the NEAP play area, should be relocated more centrally within the masterplan and the green setting of the park.

4.17.5 Layout

- The site appears to have one character throughout the different spaces. It would benefit from more clearly defined subspaces with distinct characters that make up the whole. These sub-spaces should have a clear hierarchy with a central focal point.
The edges of Victory Park and Belvedere could be reshaped, improving the porosity of the landscape and creating a meaningful engagement between the commercial uses and the public realm.
In turn, they will help to animate the public realm and enhance interaction with the landscape.

4.17.6 Biodiversity

- There is an abundance of large expanses of amenity lawn, some of which are unusable due to the dense tree canopy. These areas should be reduced and replaced with more biodiverse planting, which will benefit pollinators while also creating a more visually appealing landscape for people to enjoy. Reducing the amount of hard landscaping to a more appropriate amount that accommodates the expected traffic allows for more urban greening.



5.0 Design Evolution

5.0 DESIGN EVOLUTION

5.1 INTRODUCTION

5.1.1 The design has gone through an extensive consultation process with LLDC. The design team has also consulted the Quality Review Panel (QRP). The design proposals have also been subject to the review of the Built Environment Access Panel (BEAP), LLDC Planning Committee and public consultation. The following section summarises the key points which have been raised and addressed throughout the consultation process.



- OCTOBER 2021
PRESENTATION OF THE EMERGING IDEAS TO LLDC
- DECEMBER 2021
QRP #1 N18/19 Landscape and Emerging Masterplan
- FEBURARY 2022
PRE APP #1 WITH LLDC
- MARCH 2022
QRP #1
- MARCH 2022
PUBLIC CONSULTATION DROP-IN EVENT
- APRIL 2022
PRE APP #2 WITH LLDC
- APRIL 2022
PLANNING COMMITTEE BRIEFING
- APRIL 2022
BEAP PANEL MEETING
- MAY 2022
WORKSHOP WITH LLDC Landscape Officer
- MAY 2022
PRE APP #3 WITH LLDC
- JUNE 2022
QRP #2
- JUNE 2022
PRE APP #4
- JULY 2022
PUBLIC CONSULTATION EVENT

- Meetings with LLDC
- QRPs
- BEAP
- Public Consultation
- Planning Committee Briefing



OCTOBER 2021
PRESENTATION OF THE EMERGING IDEAS TO LLDC

The initial proposals were tabled with the LLDC, where the design rationale was underpinned by “biophilic design” and a public realm language that combined natural forms and fashion patterns (a nod to the introduction of UAL into the East Village). The over arching principle is to create a consistent public identity for the East Village, while remaining distinct to individual plot designs. This approach was welcomed by the LLDC, which made a number of helpful suggestions, such as:

- Create a design resulting from a thorough analytical process.
- Explore the different ways of solving the level difference in N18/19;
- Explore the relocation of the NEAP to Victory Park.



Figure 36. Concept Sketch presented to LLDC planners



DECEMBER 2021
QRP #1 N18/19 Landscape and Emerging Masterplan

The ideas for the landscape design as well as emerging principles of the masterplan were presented to the QRP on the 9th of December 2021. The following feedback was given with a series of recommendations that were subsequently implemented into the design:

- The design team should enhance the universally accessible route through The Gateway and up to Victory Park;
- Careful consideration should be given to the selection of the planting palette;
- The panel was supportive of the relocation of the NEAP to Victory Park on the southern edge. A scattered configuration of play was presented in which the play elements were distributed informally across the park. The panel suggested a single area for the NEAP.



Figure 37. Proposed relocation of the NEAP at QRP #1 N18/19

FEBURARY 2022
PRE APP #1 WITH LLDC

PreApp #1 focussed on the programme of the park, Victory Park and Belvedere Layouts, Hardscape and Softscape Strategy and Ecology.

LLDC was supportive of the scheme but encouraged the design team to make a series of changes:

- A detailed analysis of the constraints should be undertaken;
- The hardscape area of the new design should be reduced in particular around the Community Hub. Case studies of similar spaces should be provided. It was encouraged to consolidate some of the paths to increase green space;
- The cycling route connecting Anthems Way with Celebration Avenue should be reviewed in particular any conflict between pedestrians and cyclists;
- Special attention must be paid to the interfaces at the edges of the park;
- The spatial configuration and the location of the different activities and programmable areas were well received.



Figure 38. Illustrative landscape plan February 2022

MARCH 2022
QRP #1

The scheme was presented to the QRP in March 2022 incorporating comments from Pre App #1. The Community Hub was reduced in size to 1,000 square meters, down from 1,160 square meters. A less complicated path network was presented as well as proposals for a shared surface at the intersection of N18/19 and Victory Park. The panel supported the general approach with the following suggestions:

- A direct cycle route should be provided between Liberty Bridge Road and Anthems Way;
- Give careful consideration to the colours and patterns;
- The number of cyclists using the space should be taken into consideration.

The panel supported the proposed Pavilion and felt that it would make a welcome contribution to the public realm. It would create a nucleus around which the outdoor spaces could be arranged, and should ideally be located near the Community Plaza, with both the Local Equipped Area for Play (LEAP) and the Neighbourhood Equipped Area for Play (NEAP) in close proximity.

Given how closely interlinked the public realm and Pavilion are, and the significant impact that each will have on the success of the other, the panel felt that they should be designed simultaneously.

Overlaying the daylight/sunlight and wind diagrams will confirm the best location for dwelling space and play.



Figure 39. Aerial View included in QRP's Presentation #1

MARCH 2022
PUBLIC CONSULTATION DROP-IN EVENT

Drop in events were held within The Lab, E20 for the public to view the proposals. Most residents said they 'liked' the proposed new facilities and uses that would be delivered as part of the public realm improvements. They highlighted the importance of ensuring that the green spaces provide activities for people of all ages, not just children and young people.

Some residents expressed concerns that the new public realm improvements would involve the removal of grass from the parks. They opposed this, stating that Victory Park and Belvedere were important green spaces that were used by the whole community, especially during the summer months.

Several people said it was important for the gorilla to remain in Victory Park. Saffron Ryan was particularly vocal about this, stating it had "become part of the community" and was used as an identifiable meeting place for residents.

Although residents were pleased to hear that a new public art installation might be created at Victory Park, some questioned the plans to replace the Mirror Maze. Noting the area had been blocked off to the public, they inquired about the health and safety concerns of using it.



Figure 40. Illustration part of the Public Consultation Event

APRIL 2022
PRE APP #2 WITH LLDC

The meeting focused on presenting the design team's responses to the comments of Pre App #1 and QRP #1. The following actions were taken:

- A study of comparable Community Plaza was presented. A series of scale comparisons concluded that the right size was 800 sqm, reduced from 1000sqm. A series of diagrams were presented with the possible uses for the Community Hub;
- A set of emerging parameters for the Pavilion were presented;
- New connections were added in Belvedere, increasing the permeability with the adjacencies and the connections with Celebration Avenue.

LLDC was supportive of the layout and the spatial configuration and requested:

- The development of a clearer brief and strategy for the Pavilion;
- Detailed information on the sustainability strategy, planting, and edging;
- Detailing in the interfacing, especially the edge of the park adjacent to N18/19.

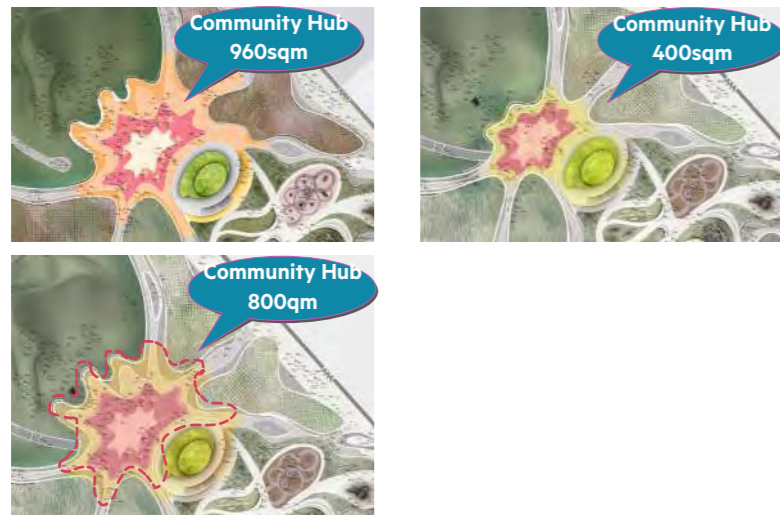


Figure 41. Diagrams indicating possible sizes for the Community

APRIL 2022
PLANNING COMMITTEE BRIEFING

The emerging proposals were presented along with the emerging design for N18/19. In terms of the landscape, the synergies between both schemes were emphasized, as well as the common narrative, language, and the ambition that biophilic design would permeate across the public realm, providing an identity while morphing to suit the specific needs of each area. The proposals were commended and viewed as a positive contribution to the public space. The use of patterns and forms was compared by one member to the best works of the famous landscape architect Burle Marx.

It was recommended to study in detail the trees to be removed.



Figure 42. Illustrative landscape plan April 2022

APRIL 2022
BEAP PANEL MEETING

The scheme was presented to the BEAP panel in April 2022. A variety of topics were discussed including shared space, street art, inclusive play, Street furniture, lighting and wayfinding.

Colourful patterns and graphics on pavement were highlighted as a problem for some disabled people if not considered appropriately. The patterns in the design across the public realm have since been rationalised and different tones of the same colour have been selected to ensure the readability and the functionality of the scheme.

The panel also expressed concerns on the accessibility of the route and shared surfaces between cyclist and pedestrian. The public space has been reviewed in light of the BEAP comments. Cyclists are discouraged to cross the internal spaces of the park, while the perimeter of the park keeps a minimum of 5.5m in line with the width required for the optimal performance of a shared surface.



Figure 43. Illustration shown in the BEAP's Presentation

MAY 2022
WORKSHOP AT LLDC'S OFFICES WITH LLDC Landscape Officer

The workshop focused on the planting palette, but it also touched on the spatial configuration and the incorporation of some key elements of the design.

The Landscape officer supported the scheme but had the following suggestions:

- Extending the canopy up to the stepped route to the crest of the mound was suggested;
- Increase the green areas in Belvedere by reducing the number of paths;
- Strengthen the ecological narrative and the use of swales across the park;
- Further investigation was needed to resolve the conflicts between pedestrians and cyclists, especially in the critical junction between Victory Park and N18/19.



Figure 44. Planting precedents

MAY 2022
PRE APP #3 WITH LLDC

The Pre App focused on presenting the pedestrian and cycling strategies and agreeing on the layouts of Victory Park and Belvedere. More detail was provided on street furniture, lighting, materiality, and edging solutions. The canopy strategy was also explained with a clearer boundary and brief, as well as access to the crest of the mound.

LLDC was supportive of the proposals, in particular the canopy element and swings. Overall, the canopy provided a new element of excitement for the park.

Three different options were presented to resolve the interface between pedestrians and cyclists at the junction between N18/19 and Victory Park. LLDC suggested a new scenario with a shared surface crossing the NEAP and connecting with Anthems Way. The materiality and edging solutions were supported by LLDC.

It was agreed that the final PreApp would be dedicated to the lighting strategy, play equipment, and biodiversity.



Figure 45. Canopy design proposals

JUNE 2022
QRP #2

The QRP #2 Presentation consisted of the plans and strategies presented to LLDC over the last few months. The panel expressed the following:

- The Panel indicated it would have been preferable for the Pavilion to be developed at the same time as the landscape proposals. The panel questioned the current location and size of the Pavilion, and suggested alternative locations at the northeast side of the park and at the mound;
- The location of the LEAP was questioned by some members as it doesn't have sun exposure during the early hours of the morning;
- The location of the NEAP was questioned as some members indicated that the Pavilion could obstruct its relationship with the Community Hub;
- The panel requested clarification on the purpose of the Community Plaza and its rationale;
- The panel preferred a demarcated cycling lane to solve the Anthems Way – Liberty Bridge cycling route.



Figure 46. Aerial view of the mound with the canopy



PART II



6.0 Design Concept

6.0 DESIGN CONCEPT AND CONFIGURATION

5.2 VISION

5.2.1 The vision for the project is to establish East Village as a destination in its own right, creating a new identity for East Village with a multi-layered, biodiverse landscape, summarising the ambitions of being “Greeted by Green”.

5.2.2 The aim of the proposals is to create a public realm that:

- Has a unique identity and character;
- Is permeable and inclusive;
- Includes a variety of attractive and flexible spaces;
- Optimise the connection between inside and outside;
- Includes an abundant and biodiverse planting scheme.

“Biophilic design is the underlying design solution for addressing the impact of the building sector on climate change. It is also an essential opportunity to change our relationship to one another and to all of life on Earth”

Amanda Sturgeon – Author of *Creating Biophilic Buildings*

5.3 CONCEPT

5.3.1 The design concept is based on creating an imaginative and bold design that goes beyond a utilitarian public realm. For a landscape to be memorable and recognizable, it must create memories and imprint them in the user’s brain, inspiring a desire to return to it, to use it, and to feel it. To do so, a dialogue is proposed between the curvaceous forms seen in nature and the use of patterns in fashion, specifically camouflage ones. The juxtaposition of the two languages creates a morphing and changing canvas on which the landscape design can evolve and respond to the context’s needs.

5.3.2 The narrative aims to create a multi-layered landscape that makes the most of the existing landscape and benefits from a new spatial configuration, allowing the landscape to provide new planting ecosystems, new areas for the community, and new accessible and inclusive elements, such as the walkway at the crest of the mound. The approach is to invite nature into the site in many different ways and embrace the idea of being “Greeted by Green.” The design has been approached in a way that looks to maximise planting opportunities and optimise the biodiversity of the site whilst creating well-connected, generous, publicly accessible spaces. The proposals focus on the use of natural materials such as stone and timber, enhancing the idea of having nature all around while introducing a point of difference and contrast to the adjacent buildings.

5.3.3 Placemaking is central to the concept. The proposals reimagine Victory Park and Belvedere, opening them up to create a destination with a civic heart where an array of activities could take place while adding different gathering spaces and experiences for the public. The aim is to ensure the site is well connected to the wider context and, in particular, with the adjacent retailers.



Figure 49. Diagram illustrating the patterns inspiring the concept design

6.1 DESIGN LANGUAGE

6.1.1 The biophilic design informs an organic, curvaceous approach, softening edges, strengthening the relationship with nature, and linking to the Portland wetlands in particular. The design language also takes inspiration from the world of fashion and patterns, which the student residents will be studying..



Figure 50. Concept Design line work diagram



Figure 51. Concept Design sketch

Landscape & Fashion Creating a unique language

6.2 FIVE KEY MOVES

6.2.1 The five key moves below have been established to respond to the opportunities highlighted through the site analysis of the site.



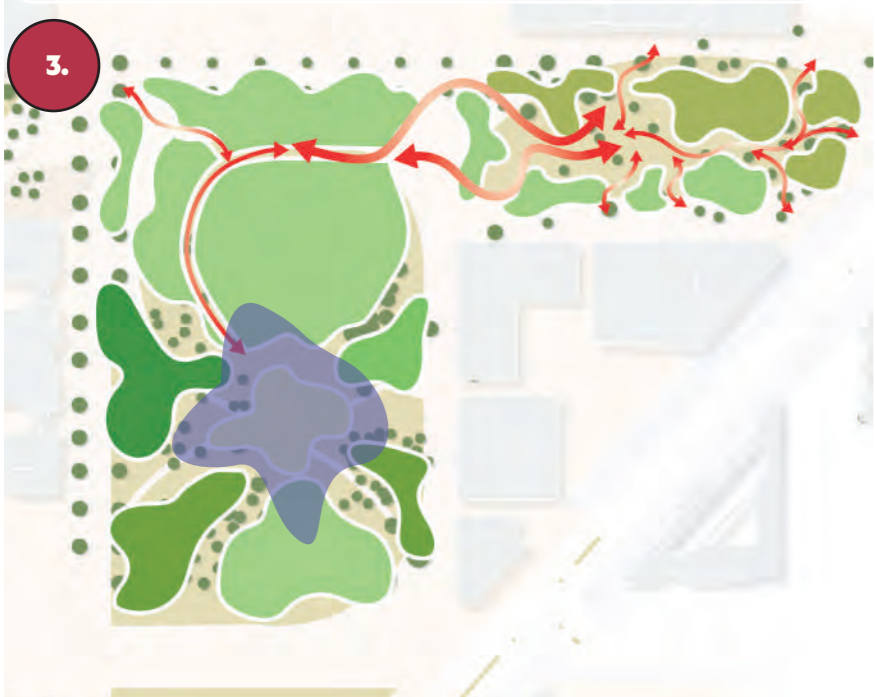
Existing layout - The diagram shows the oversized and under utilised design leading to a lack of legibility



1 - NEW CIRCULATION - The next step is creating new pathways, opening up the park to the surroundings, and blurring the park boundaries.



2 - BLUR THE EDGES - The new edges have a strong relationship with the ground-floor units by blurring the edges of the park.



3 - CREATE A COMMUNITY HUB - A new Community Plaza and Pavilion create a heart for the scheme.



4 - ACTIVATE THE MOUND - By making the crest of the mound a usable and universally accessible space. A new canopy creates a focal point of interest.



5 - INTRODUCE NEW USES - The scheme adds a new sequence to the spaces, including community gardens and relocating the existing NEAP.

6.3 PROPOSED SCHEME AND EXISTING

6.3.1 A high level comparison between the proposed and the existing scheme let us appreciate some of the bigger changes.

6.3.2 Central Space

- Firstly, one of the main differences between the existing and proposed spaces is the central space. To resolve the current lack of a clear hierarchy of landscape spaces, a central plaza is proposed. This move will allow for the centre to be activated, making the most of the current components of the landscape. It will provide a much-needed space for socializing, providing an area for outdoor markets, outdoor cinemas, etc. at the heart of the village. It will also mean a more open and safer park.

6.3.3 The Mound

- Second, by constructing the Community Hub, an area that is currently occupied by softscape would be transformed into hardscape. However, green space will be gained in other areas by increasing the extent of the mound toward Victory Parade. This will reduce the oversized hard landscaping area north and west of the mound while increasing the green area.

6.3.4 Park Edges

- Thirdly, the engagement between the park and the ground-floor business units is improved. Currently, there is a hard edge delineating the park from its edges. The park seems to be framed by oversized paths that don't interact with the greenery of the center. In the plan opposite, it can be observed how the green space is extended to meet the surrounding buildings. One of the key moves is opening up the park and establishing new connections from the NE-SE to the NW-SW. The other key move is done by articulating the edge of the park in such a way that, in front of the commercial uses, it expands and contracts, creating areas for seating and F&B in direct contact with the park. The result is a park whose edges are blurred and connected to the surrounding building uses.



Diagram indicating the existing design



Diagram indicating the proposed design



Overlay between proposed and existing design showing the increase in green space.

6.4 ASSESSING THE IMPACT OF THE PROPOSED MORPHOLOGY

6.4.1 Extending the green space at the edges and introducing the Community Hub have meant a redistribution of hard landscape around the site. The addition of 800 square metres for the new central Community Hub is offset by the new green areas provided in Victory Park, north of the mound towards Victory Parade and the park edges (a total of approximately 1886 square metres). Areas are broken down below for clarity:

- Community Hub: 800 sqm
- Pavilion Plot: 400sqm
- Total new hardscape: 1200 sqm

- New Green Areas in Victory Parade (East Edge): 174sqm
- New Habitat Zone: 500sqm
- Extension towards Victory Parade: 1212sqm
- Total new green space: 1886 sqm

6.4.2 However, overall there is an increase in hardscape due to the introduction of new amenities such as the relocation of the NEAP (1,000 sqm). New green areas have also been proposed here in order to minimise the impact, amounting to a total of 400 sqm.

6.4.3 It is inevitable that the change of use will slightly increase the hardscape area. However, the scheme provides a net gain in biodiversity and an UGF of 0.52 vs. the current 0.46.

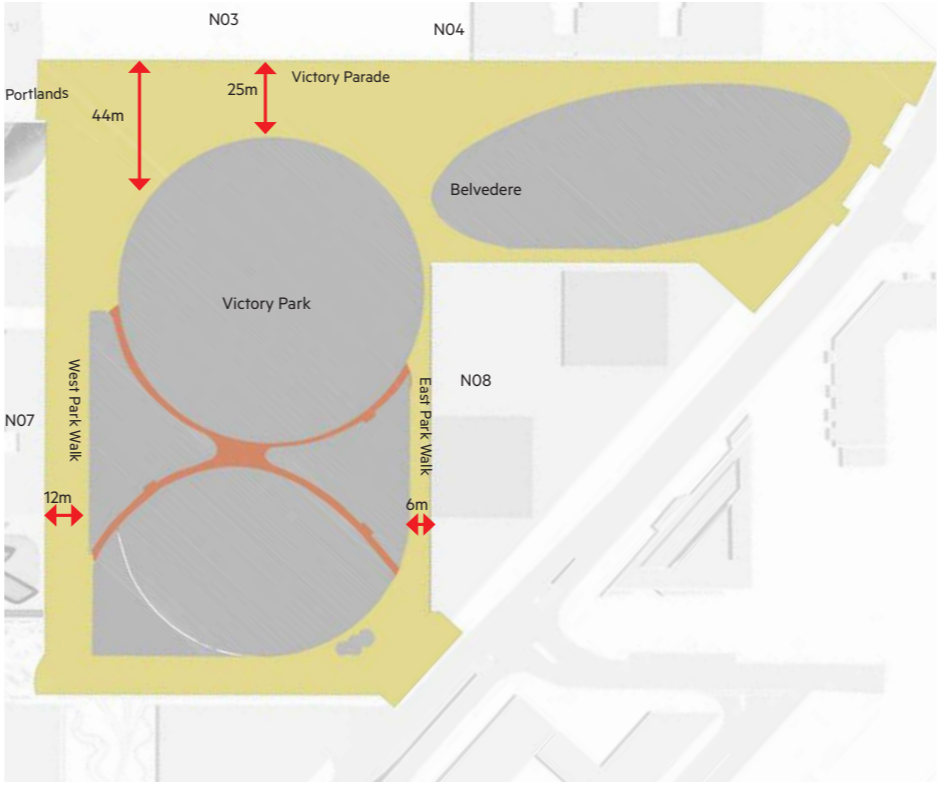


Figure 52. Existing scheme **10,922 sqm Hardscape**

LEGEND

- Resin Bound Gravel
- Natural Stone Pavers

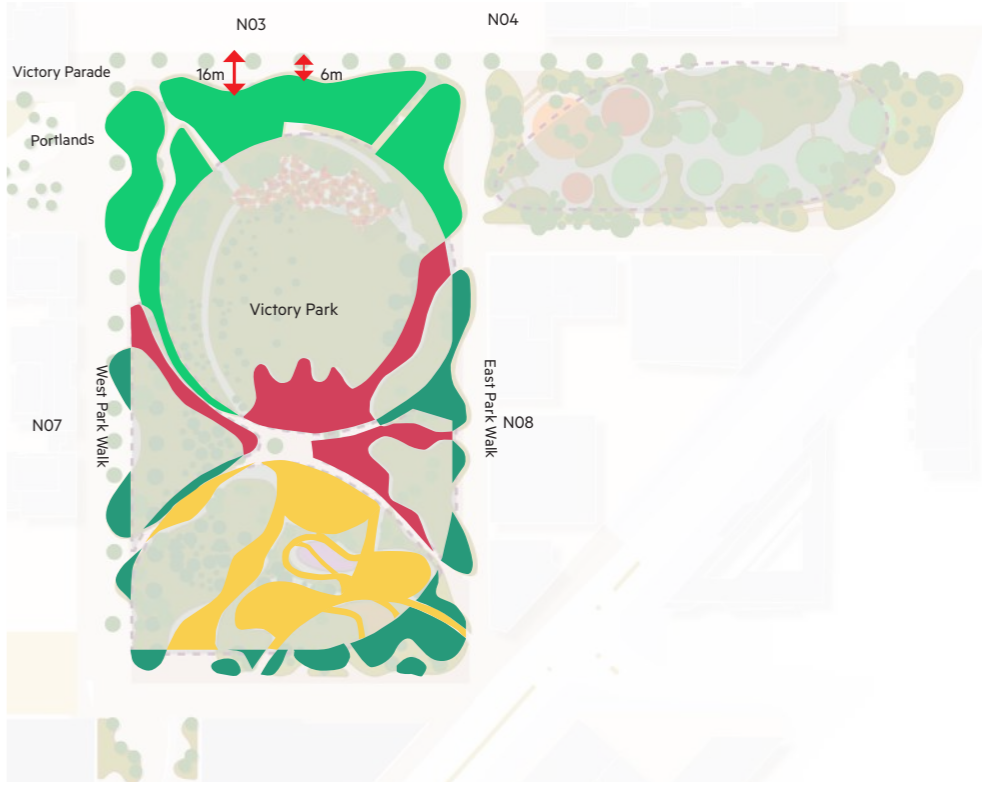


Figure 53. Design proposal **12,546 sqm Hardscape**

LEGEND

- The loss of greenery due to the New Community Hub
- New Victory Parade green proposed, extending the mound
- New green areas across Victory Park
- Loss of green due to a change of use: relocation of the NEAP

6.4.4 One of the main aims of the public realm is to ensure the proposals link to and respond to both the site's existing and emerging context. To achieve this, the design team undertook an extensive site visit, identifying all the critical points for better legibility. The existing landscape was then modelled in 3D, scrutinising and interrogating the existing configuration. The findings informed the key moves that can be seen in these images comparing the existing and proposed.



6.5 PROPOSED VIEWS

6.5.1 The new design proposals will make a positive contribution to the characteristics and composition of the views (the Site is a key view in the Local Plan).

6.5.2 From East Park Walk and West Park Walk, the thinning out of the multi-stem trees and the creation of a new path network will increase permeability, delivering a spatial configuration with new visual connections and, more importantly, direct sight lines between the East and West of the Park.

6.5.3 The views from Victory Parade will be modified by the addition of a new green area, which will lend a more verdant ambience. The canopy at the crest of the mound will be visible across the park, creating a visual focal point which will enrich the views while signifying the park.

6.5.4 The views from Anthems Way will be more permeable with East Park Walk visible and the relocated NEAP. This will create a more active and safer environment, as well as an additional and interesting focal point.

6.5.5 Belvedere views will create a greener, naturally rich environment. Views from Celebration Avenue will improve with the addition of trees and canopy structures, as well as a direct path leading to the programmable areas of Belvedere. Views from the east and west will comprise new paths connecting both sides with a green armature framing the Belvedere. The views from the south will include the main path crossing Belvedere and the LEAP as a focal point with a green backdrop. The new design will contribute positively as it will enrich the existing views as described.



Figure 54. Existing view from N18/19 junction with Victory Park



Figure 55. Existing view from West Park Walk



Figure 56. Proposed view from N18/19 junction with Victory Park



Figure 57. Proposed view from West Park Walk



Figure 58. Existing view from West Park Walk



Figure 59. Proposed view from West Park Walk

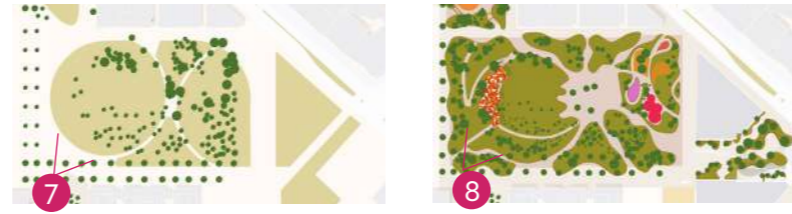


Figure 60. Existing view from Victory Parade towards the mound



Figure 61. Proposed view from Victory Parade towards the mound



Figure 62. Existing view from Victory Parade towards East Park Walk



Figure 63. Existing view from Victory Parade towards East Park Walk

6.6 PROPOSED NEW ROUTES IN THE CONTEXT OF EAST VILLAGE

6.6.1 Several enhancements are proposed to the existing pedestrian circulation. Plots N18/19 will become The Gateway to East Village and its new access to the park will become an important junction to access Victory Park.

6.6.2 A series of new paths have been proposed to achieve better permeability through the Victory Park and the Belvedere. At the heart of this decision is the need to prioritise pedestrian needs, as well as resolving current issues in the pedestrian circulation such as the confusing and impermeable access to the park.

6.6.3 New accessible areas have been proposed, such as the universally accessible path to the crest of the mound, to the relocated NEAP, or the new LEAP. The proposed changes will result in a more inclusive, accessible, and legible public realm.








Figure 64. Illustrative diagram highlighting the proposed new pedestrian routes in the context of East Village

6.7 PROPOSED CYCLING ROUTES IN THE CONTEXT OF EAST VILLAGE

6.7.1 The proposed cycling network aims to deliver a coordinated approach compliant with inclusive design principles. In order to assess the correct solutions, the design team has studied the original cycling strategy that has been implemented as well as the recommendations outlined by LLDC. The park is an area with pedestrian priority, comprising primarily shared areas for pedestrians and occasional cyclists. The use of bicycles across Victory Park and Belvedere is not encouraged. The main connection requiring a demarcated bicycle route is the link from Celebration Avenue to Anthems Way. The proposals address these, and the design team has consulted extensively with LLDC on the most appropriate option.

LEGEND

-  Demarcated cycle route
-  Cycle in a shared pedestrian environment
-  Cycle lane
-  Santander cycle parking
-  Cycle parking Total: 250

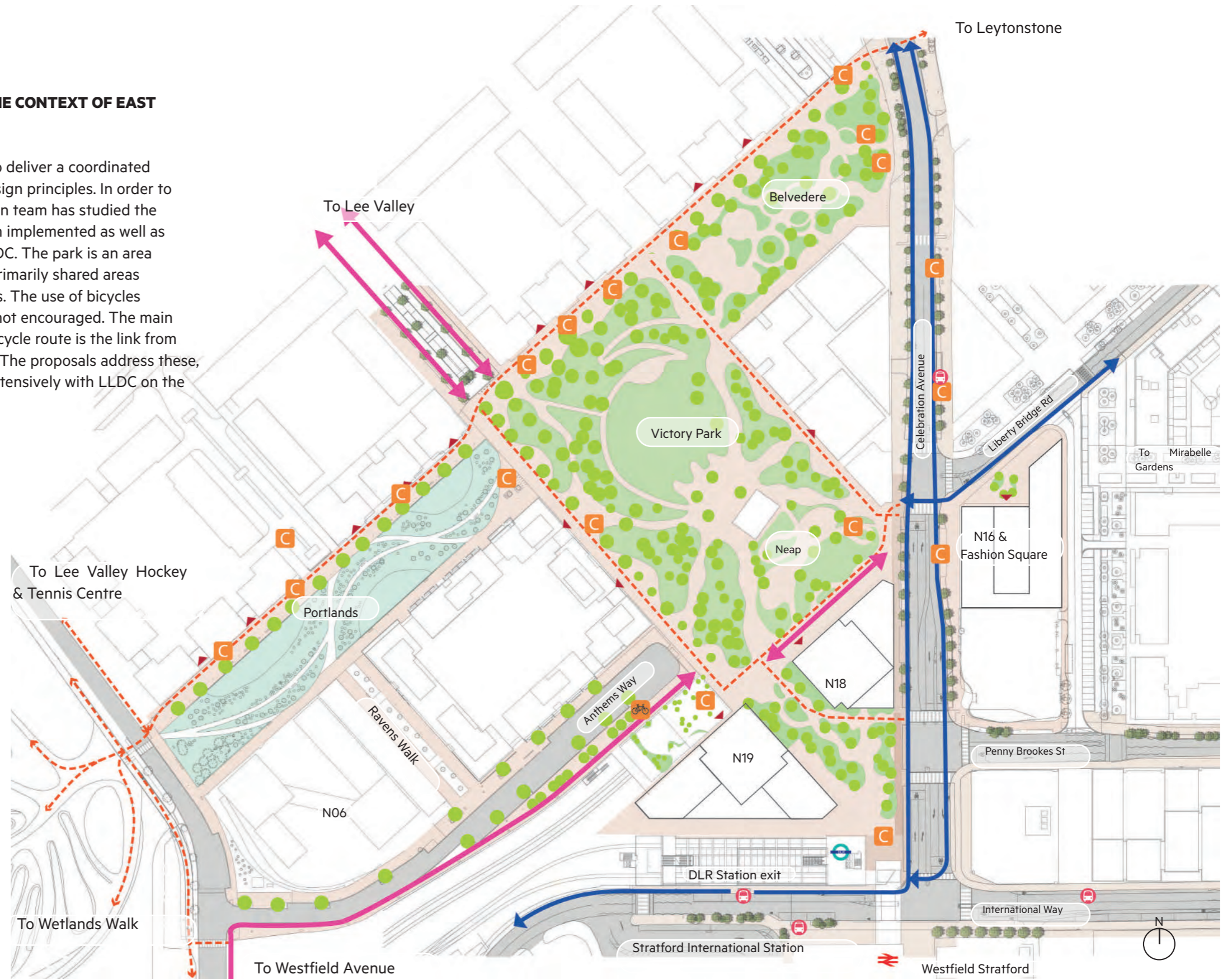


Figure 65. Illustrative diagram highlighting the proposed new cycle routes in the context of East Village

6.8 SUNLIGHT

6.8.1 The sunlight analysis described in earlier sections of this report has been used to inform the location of features and amenities within the design.

6.8.2 The diagrams illustrate a summary of the sun path analysis. These show the sun at its peak at the summer solstice, which best demonstrates how the direct sunlight falls on the site across the day.

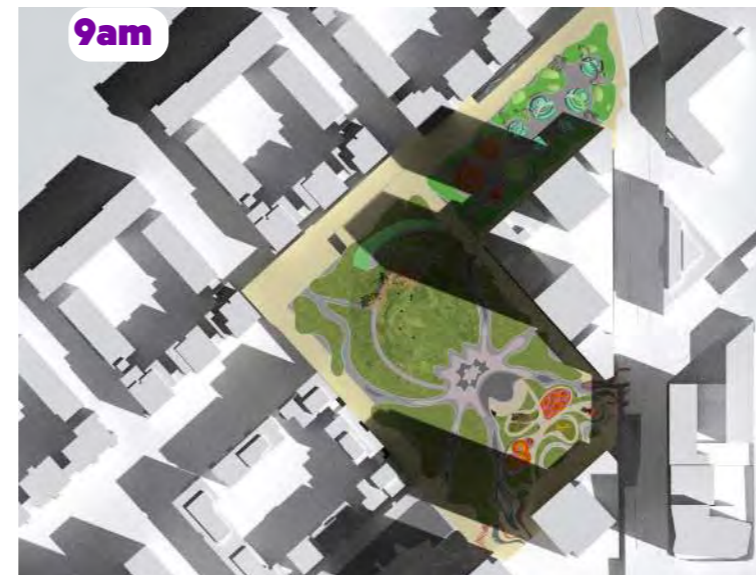
6.8.3 Victory Park has good levels of sun exposure during spring and summer, while the autumn and winter are less favorable, as would be expected. Belvedere receives limited sun exposure during the morning, with more direct sunlight in the afternoon.

6.8.4 Victory Park presents the best conditions within a central area spanning from the crest of the mound to the northwest and up to the southeast. These areas have a good level of sun exposure during the spring and summer. During the winter, we can expect some direct sunlight at the centre of the park and the southern section.

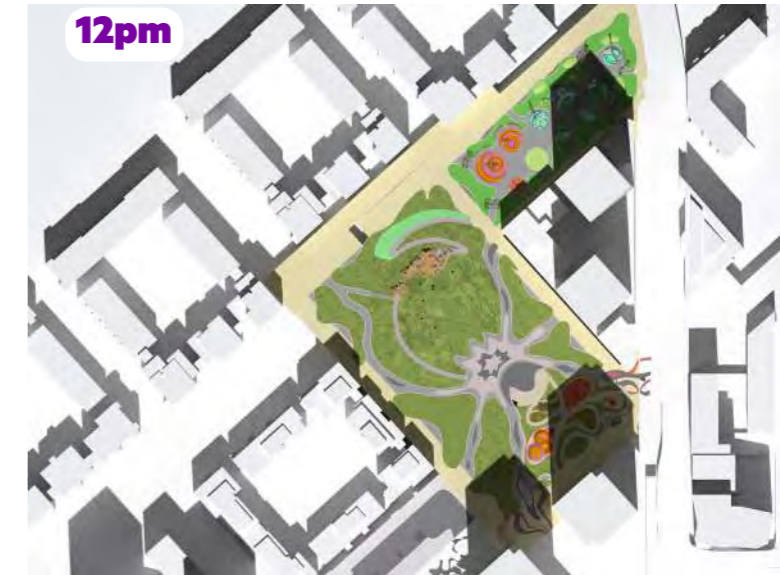
6.8.5 Belvedere has good conditions during the summer when the northeast has a decent level of exposure in the mornings and until noon while the northwest has best sunlight during mid-afternoon. During the spring, the best scenario is also during the afternoon. In winter the Belvedere is mostly in shaded.

6.8.6 Based on this sunlight analysis, most of the activities in Victory Park are best located within the central areas. The Belvedere's northwest location is more appropriate for the community gardens due to the lighting levels. The LEAP is located in the south-east, where the sunlight will be concentrated in the mid-afternoon.

6.8.7 Victory Park is therefore the best location for the Pavilion within the areas offering the best sunlight to facilitate its use throughout the year.



During the early hours, the centre of the park is well exposed while the southern area is in shade.



Around midday, the centre of the park gets a fair amount of sunlight. Belvedere gets limited sunlight.



3pm offers one of the best scenarios with sun exposure across the site .



By 6pm, Belvedere is fairly shaded while the centre of the park continues to have good levels of sun exposure.



7.0 Landscape Masterplan

7.0 LANDSCAPE MASTERPLAN

7.1 EAST VILLAGE MASTERPLAN

- 7.1.1 The landscape masterplan reimagines the design with a holistic approach. One of the very initial thoughts informing the design was the need to answer one question: how to make a recognisable proposal? The question is more complicated than it initially seems, especially when the design response should comprise a robust sustainable and ecological narrative.
- 7.1.2 The public realm has a unique ability to inform our perceptions, influence our daily activities, create places to read, exercise, have a sandwich, or simply have a nice setting to enjoy while walking to work or home. The existing Victory Park and Belvedere serve an important purpose by facilitating many of these activities, but they lack distinction from other spaces found across London.
- 7.1.3 One of the main objectives of the proposal is to design a landscape able to create memories for the users: a desire to come back to the same place, a playful landscape with moments of fascination.
- 7.1.4 The design aspires to provoke memories and fascination by blending biophilic design principles and fashion elements. The design language extends beyond Victory Park and Belvedere, appearing in The Gateway and in N16. By doing so, a common thread is established that ties the master plan together.
- 7.1.5 The result is a rich design proposal that can't be read in isolation but rather in conjunction with the rest of the village. Victory Park aspires to be "the heart of the village," but it will be accompanied by a rich, evocative, and purposeful design.

LEGEND

- ① The Gateway
- ② The Garden Passage
- ③ Entrance N18/19
- ④ Universal access
- ⑤ The Garden Lounge
- ⑥ Victory Park and N18/19 junction
- ⑦ Anthems Way
- ⑧ NEAP
- ⑨ Community Hub
- ⑩ Landform seating area
- ⑪ Viewing point
- ⑫ Canopy
- ⑬ Steps to the upper mound path
- ⑭ Perennial gardens
- ⑮ Community gardens
- ⑯ Wildflower gardens
- ⑰ Trellis
- ⑱ LEAP
- ⑲ Extended mound greenery
- ⑳ Swales
- ㉑ Extended F&B Areas
- ㉒ Informal seating
- ㉓ Portlands
- ㉔ N16 - Celebration Avenue - Victory Park connection



Figure 14 - Illustrative Landscape Plan



Figure 66. Illustrative aerial view of the Victory Park and Belvedere

7.2 CIRCULATION ACROSS VICTORY PARK AND BELVEDERE

7.2.1 The circulation across Victory Park and Belvedere has been carefully considered to provide a clear hierarchy and legibility. The perimeter comprises paths whose width is always greater than 5m. The primary routes crossing the interior of the park and Belvedere have a width of more than 3m. Secondary routes, such as some of the paths in the NEAP and Belvedere, have a width of more than 2m. Tertiary routes have at least a width of 1.8m. The path network delivers a universally accessible public realm.

LEGEND





-  ≥ 5m route
-  ≥ 3m route
-  ≥ 2m route
-  ≥ 1.8m route



Figure 67. Circulations around the perimeter of Victory Park and Belvedere



Figure 68. Circulations connecting with the centre of Victory Park and Belvedere

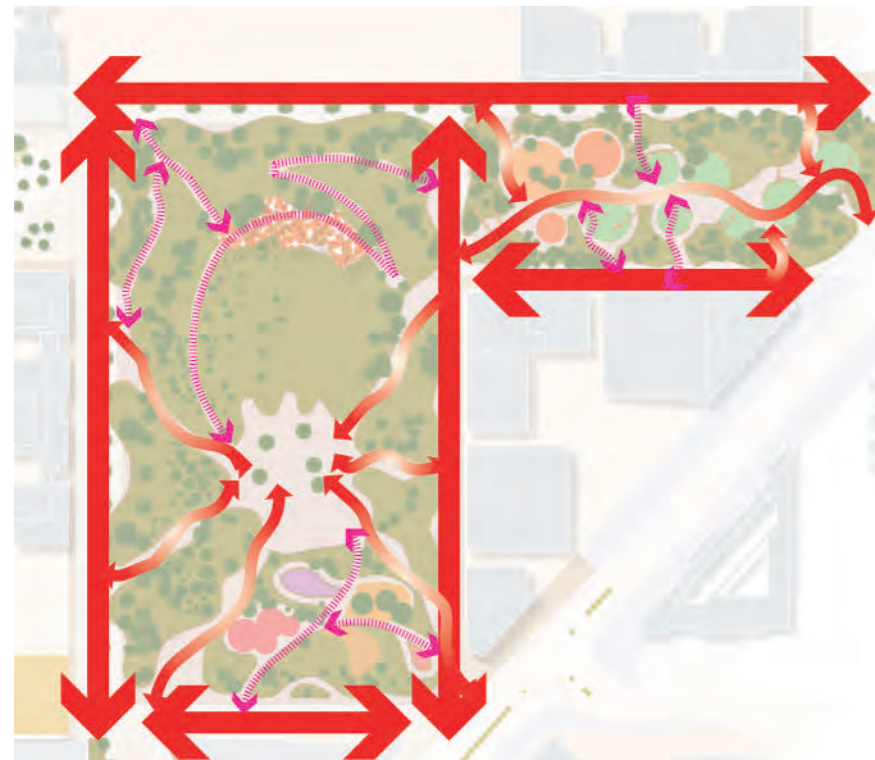


Figure 69. Secondary Circulations

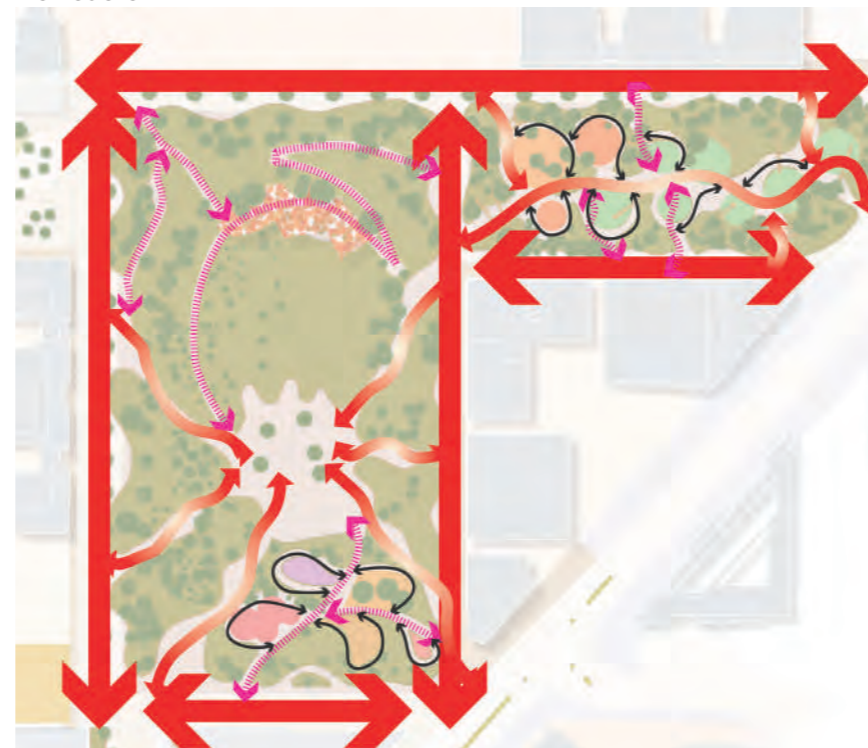


Figure 70. Tertiary Circulations



Figure 71. Final Layout with the proposed circulations

7.8 VICTORY PARK SECTIONS

7.8.1 This section demonstrates some of the most important design enhancements that the proposal will provide. Towards Victory Parade, the extended area of the mound provides new green areas comprising swales, and towards the mound, the new accessible ramp provides a new path to the canopy. The section also indicates the Community Hub, with a width of approximately 41 m. The locations of the Pavilion and the new NEAP are also shown. It is not proposed to change the height of the mound.

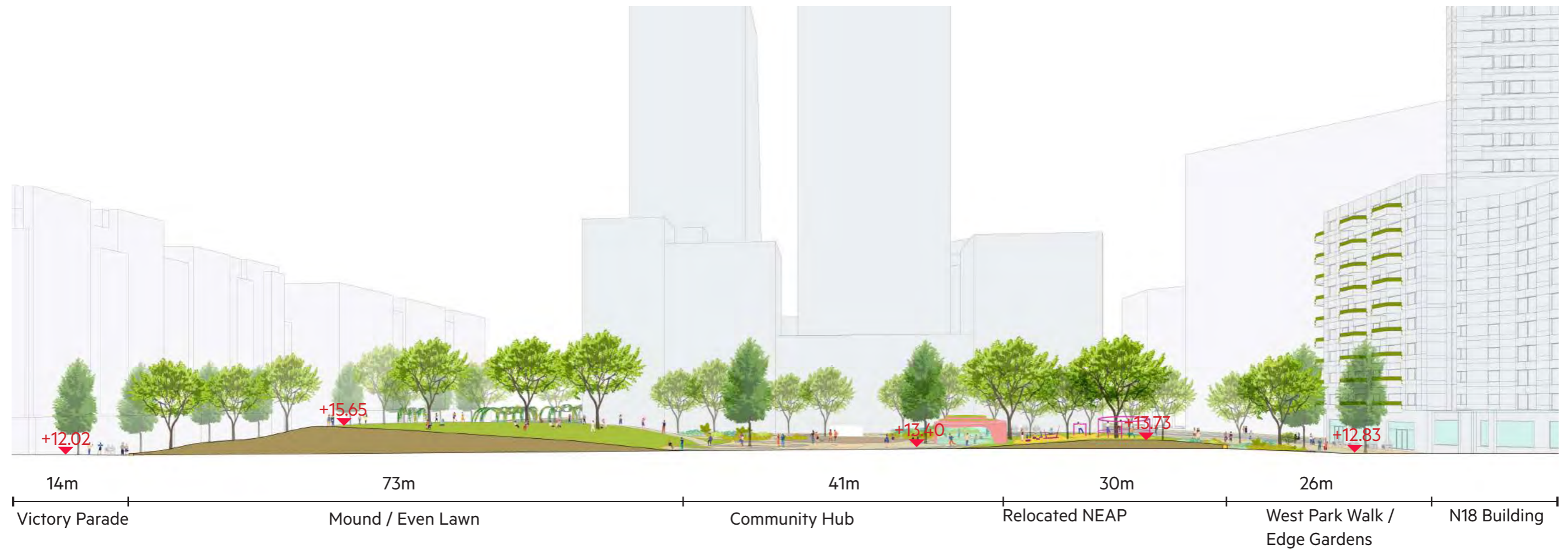
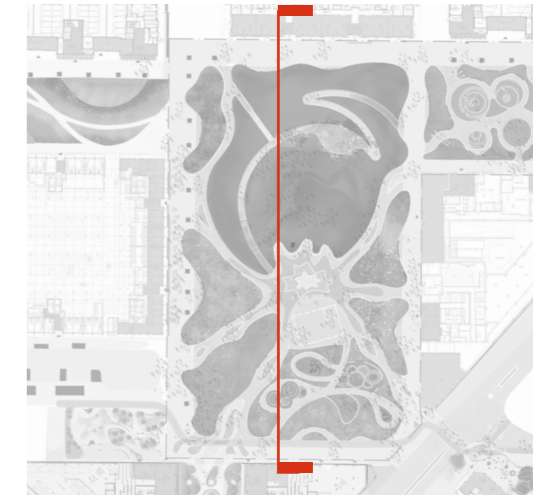


Figure 73. Illustrative section showing the proposed topography

VICTORY PARK SECTIONS

7.8.2 This section indicates the new accessible path of the mound.

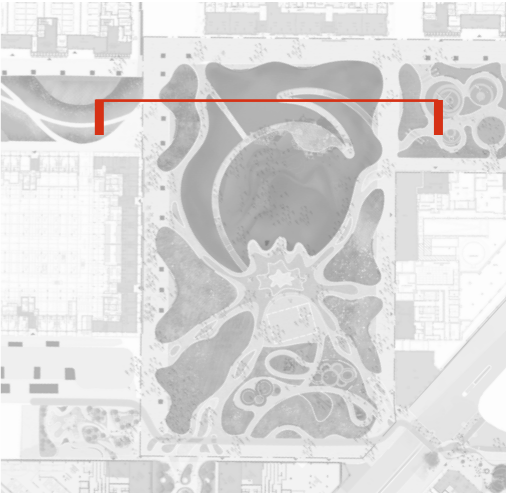


Figure 74. Illustrative section showing the proposed topography

7.9 VICTORY PARK EXISTING EDGES

7.9.1 The current edge of Victory Park creates a hard division between the walkways and the park. The impression is of a detachment between the greenery and the terraces of the retailers. The arrangement deprives the F&B areas of a sense of greenery. The routes are also oversized, giving a sterile and overexposed impression.

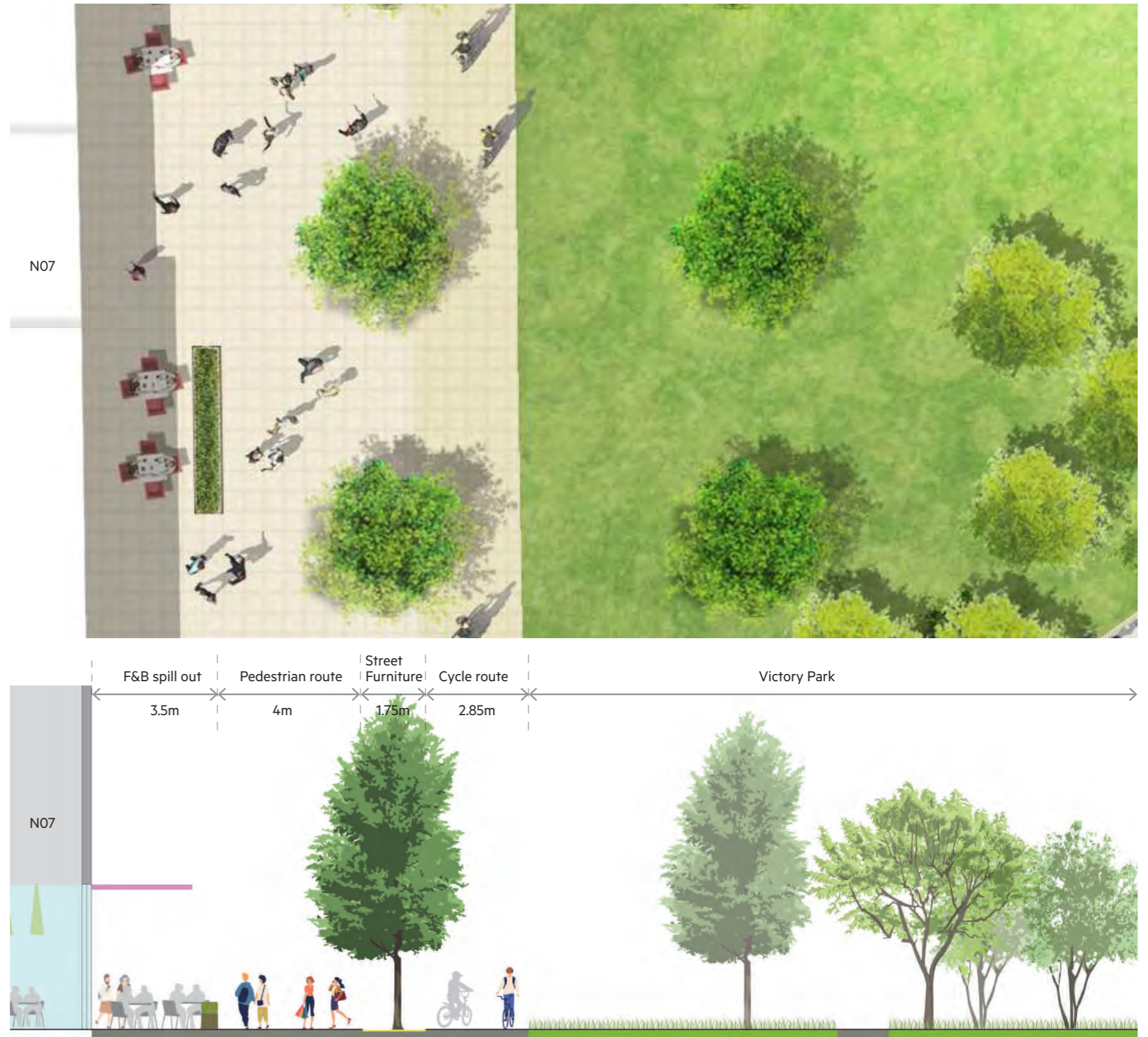


Figure 75. Illustrative diagrams showing existing park interface at the south western edge

7.10 VICTORY PARK PROPOSED EDGES

7.10.1 The new arrangement articulates the perimeter of the park in a different manner. The hard and rectilinear edge is substituted by a curvaceous design, creating moments of compression and decompression. The compression narrows the width of the walkways, breaking the notion of being on a fast route and slowing down potential cyclists. The decompression moments extend towards the park, enabling the zones for F&B and seating. The more organic edge blurs the boundary between the park as well as the buildings, creating the illusion that now the entryways and uses are located on the ground level of a garden.

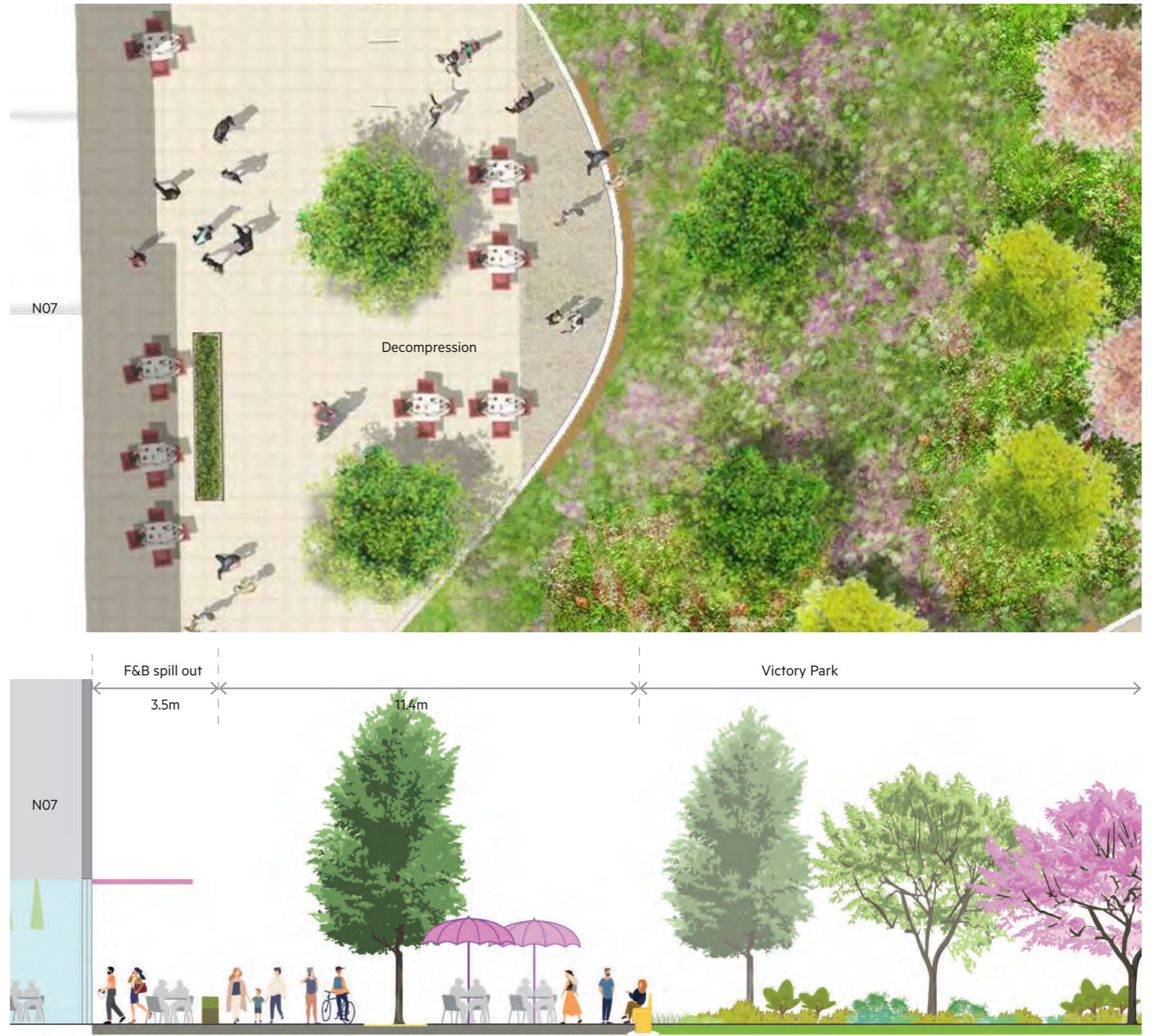


Figure 76. Illustrative plan and section showing the proposed interface at the south western park edge

7.11 RELOCATED ARTWORK

7.11.1 The Mirror Maze

A number of options have been explored for the relocation of the mirror maze. These are indicated in Figure 68.

7.11.2 As the area where the mirror currently is will be changed to accommodate the relocation of the NEAP and a new pathway, different options are being considered:

7.11.3 Location 1 is adjacent to West Park Walk. This area could provide a naturalistic setting. However, it currently has dense clusters of existing trees, and the relocation could potentially lead to the removal of healthy trees. For this reason, this was a location deemed unsuitable.

7.11.4 Location 2. This would be closer to the current location, but existing trees would make the installation difficult without the risk of damaging the trees.

7.11.5 Location 3. This option is not within close proximity to existing trees, and the installation would not be as invasive as in the previous locations. The mirror maze would not be adjacent to the NEAP, limiting possible injuries from misuse. However, the installation won't benefit from a completely natural setting as in the other locations.

7.11.6 Location 4. This location is within the Belvedere, however, and is located within close proximity to the proposed LEAP.

7.11.7 After evaluating and weighting the factors listed above, the conclusion is that Location 3 presents the best place to relocate the mirror maze.

7.11.8 Gorilla sculpture. The Gorilla sculpture will be relocated a short distance from where it currently stands and incorporated into the design of the Community Plaza.



The Gorilla sculpture



The Mirror Maze



Figure 77. Diagram illustrating locations of existing artwork

LEGEND

- Mirror Maze (105sqm)
- Gorilla Sculpture

7.12 ASSESSING THE SPATIAL CONFIGURATION

7.12.1 A series of studies were undertaken to assess the most optimal spatial configuration.

7.12.2 **Scenario 1.** In this scenario, the LEAP is relocated to the east, adjacent to East Park Walk. The result of this proposal would be a highly active cluster comprising the east and south of the park. It will also result in an increase in the hardscape area as a result of the repurposing of 500 square metres of softscape to be dedicated to play. While Belvedere will become primarily a garden, Victory Park will see its character change, becoming a space dominated by play, with the imbalance changing the nature of the area.

7.12.3 **Scenario 2.** In this case, the Pavilion would be moved to the adjacency of East Park Walk. The Pavilion will conflict with the retail and reception areas of N08, with both looking to the rear of the new structure. The legibility of the public realm will be negatively affected by the obstruction of the sight lines between West Park Walk and East Park Walk. The relocation of the LEAP next to the NEAP will create the same imbalance as once indicated in Study 01.

7.12.4 **Scenario 3.** This case will have the same problems as Study 2 in regards to the obstructed sight lines between East Park Walk and West Park Walk, but it will improve somewhat the level of activity in the public realm as the LEAP will be located in Belvedere.

7.12.5 **Scenario 4.** It will involve relocating LEAP near West Park Walk. However, this area has a high concentration of existing trees in good condition. The relocation of the LEAP will lead to a considerable loss of trees, which is not justified since there are more suitable areas for the play space.

7.12.6 **Conclusion.** Based on the above studies, the preference is to keep the LEAP in Belvedere while locating the Pavilion in the heart of Victory Park, adjacent to the NEAP, which is located to the south of the park.

LEGEND

- 1. LEAP
- 2. Pavilion
- 3. NEAP



Figure 78. Scenario 1



Figure 79. Scenario 2



Figure 80. Scenario 3

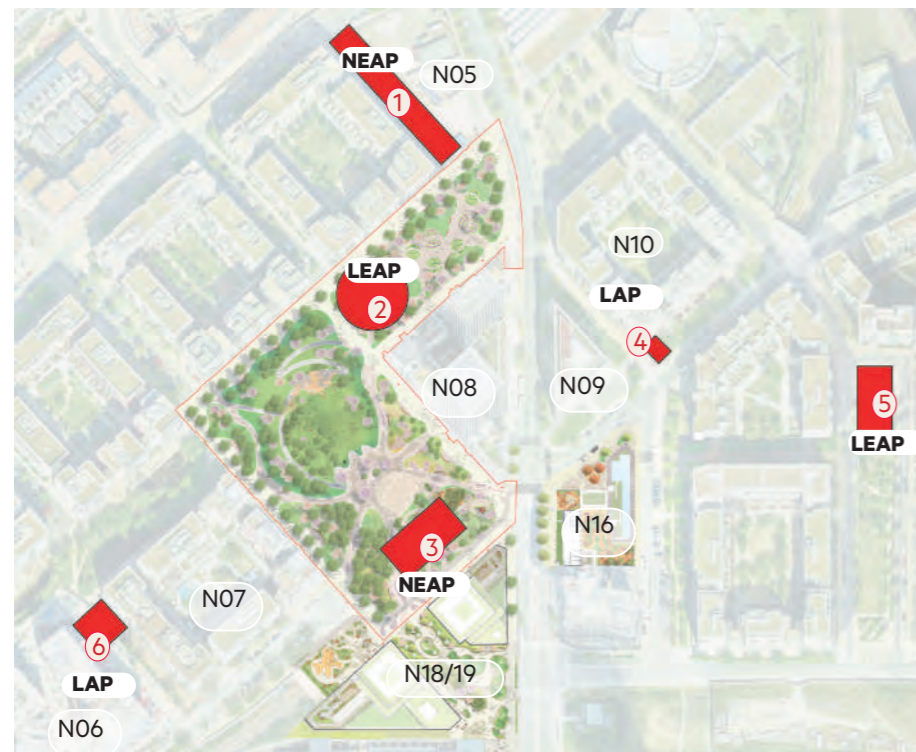


Figure 81. Scenario 4

7.13 PROPOSED PLAY

7.13.1 Victory Park and Belvedere will provide two different areas of play. The relocation of the NEAP from Anthems Way to Victory Park will be one of the key changes to re-energize the park. The following section of this document will describe how Victory Park and Belvedere will adhere to the requirements of the Section 106 Agreement for Stratford City and how the proposed landscape will respond to the existing public realm within the area.

7.13.2 The adjoining plan shows the proposed locations of the play spaces within East Village. The location of each play space can be seen highlighted in red. A number of play spaces have already been delivered. These include Ravens Walk and Stafford Green LEAP.



LEGEND

- 1. N05 NEAP
- 2. Belvedere LEAP
- 3. Relocated Victory Park NEAP
- 4. Existing LAP
- 5. Stratford Green LEAP
- 6. Ravens Walk LAP



8.0 Victory Park

8.0 VICTORY PARK

8.1 VISION: A VERDANT AND ACTIVE PARK

- 8.1.1 The re-imagination of Victory Park proposes a verdant ambience where a new series of uses are proposed. The relocated NEAP, situated at the south end of the park, will activate the park while providing the illusion of play within a forest. The Community Hub, comprising a plaza of 800 square metres and a pavilion, will provide a new space suitable for different events and for the development of a community and active space all year round. The re-profiling of the mound will make it ideal for events such as outdoor cinema or informal seating. Lastly, the canopy offers a new usable space at the crest of the mound, a focal point, and a playful element.
- 8.1.2 Beyond the programable spaces, Victory Park’s vision also includes new green areas consisting of flowering perennials from spring to early autumn; the addition of new trees, which will also reflect the seasonal changes; and rain gardens. This will increase the biodiversity and ecological value of the park.

8.2 VICTORY PARK COMPONENTS

- ① The junction between N18/19 and Victory forms an important point for the distribution of pedestrian movement. The area comprises a pattern guiding users to the Community Hub as well as to West Park Walk.
- ② The mound is an asset for the scheme; its semi-circular shape and topographical changes will enable users to utilise it in new ways.
- ③ A new viewing point has been established at the crest of the mound. This new accessible area will create a focal point and will allow visitors to enjoy open views of the park.
- ④ Special care has been taken to create universally accessible routes. Especially significant is the access to the crest of the mound designed for all users.
- ⑤ A direct set of stairs is provided as a means of accessing the top of the mound. The combination of the steps and the ramp could make this part of a jogging trail or simply the fastest access.
- ⑥ The canopy is an important element, giving a new meaning to the mound and providing an area where the users can gather, use the swings, and enjoy the view.
- ⑦ The Community Hub, with an area of 800 square metres, is destined to become the “heart of the village” with a design that allows for multipurpose use, from a temporary market to an outdoor cinema.
- ⑧ The NEAP has been relocated to the southwest of Victory Park. The NEAP will comprise four different “rooms” with distinctive pieces of equipment and a welcoming configuration for different genders and uses.
- ⑨ A series of perennial gardens will be used to maximise the biodiversity and ecological value of the design.
- ⑩ Informal seating will be scattered along the landforms of the

- ⑪ The mound will be extended toward Victory Parade. This will reduce the currently oversized hardscape area while providing a new green zone.
- ⑫ Swales will be created at the edges of the mound and at the edges of the park.
- ⑬ The articulation of the park edge is designed to allow for a better engagement with the retailers, creating moments of decompression and allowing for the spillout of food and beverage.
- ⑭ Wildflowers will be planted in different areas, favouring an ecological approach.
- ⑮ Informal seating will be possible in different areas, making the park a social centre.
- ⑯ ⑰ ⑱ The NEAP and its four rooms will include a jungle gym mostly dedicated to monkey bars and beams, an outdoor fitness area, and two more areas dedicated to contemplation, as well as a canopy with swings.
- ⑲ ⑳ ㉑ New flowering trees will mark the main paths of the park, creating a superbloom during the spring.
- ㉒ The Habitat Zone, protected by a fence, will be located adjacent to Portland as a part of an ecological corridor.
- ㉓ The Pavilion will be situated at the centre of the park, providing clear sight lines to the mound and NEAP.

- LEGEND**
- ① Victory park / N18/19 junction
 - ② The Mound
 - ③ Viewing point
 - ④ Universal access
 - ⑤ Steps to the upper mound path
 - ⑥ Canopy
 - ⑦ Community Hub
 - ⑧ Neap
 - ⑨ Perennial gardens
 - ⑩ Landform seating area
 - ⑪ Extended mound greenery
 - ⑫ Swale
 - ⑬ Spill out F&B areas
 - ⑭ Wildflowers
 - ⑮ Informal seating
 - ⑯ Jungle gym: monkey bars, beams etc.
 - ⑰ Contemplative lawn: yoga, hammocks, etc.
 - ⑱ Outdoor fitness: strength and
Cross training equipment
 - ⑲ Natural play: timber pods and Sliders
 - ⑳ Swing garden
 - ㉑ Accent flowering trees
 - ㉒ Habitat Zone
 - ㉓ Pavilion location



Figure 82. Illustrative plan showing the proposal for Victory Park

8.3 THE MOUND AND THE NEW ACCESSIBLE ROUTE

- 8.3.1 The mound is an existing asset in the scheme that should be celebrated. Victory Park offers the rare opportunity to transform what has been considered a nuisance into an exciting feature. The mound and its basin shape will provide a natural amphitheater, and it could potentially be a place where residents lay down and watch the broadcast of sports events, performances, or movies. It could offer multiple opportunities once activated by a series of events.
- 8.3.2 As part of the accessibility strategy and the activation of the mound, the proposal establishes two new access points to the crest of the mound. One is universally accessible, comprising a route from the northeast side of the mound adjacent to Belvedere and another from the southwest corner of the mound in the Community Hub. Additionally, stepped access is provided via Victory Parade.
- 8.3.3 The view from the crest of the mound on a sunny day is mesmerising and a missed opportunity in the existing conditions. By providing new accessible routes and the new canopy, the proposal aims for it to become a destination, capturing the attention of new visitors who could appreciate the extensive culinary offer in the village. New seating and swings are provided for residents and frequent visitors to enjoy the views across the park.



Figure 83. Extract from illustrative landscape masterplan focussing on the mound

8.4 SECTION THROUGH THE MOUND

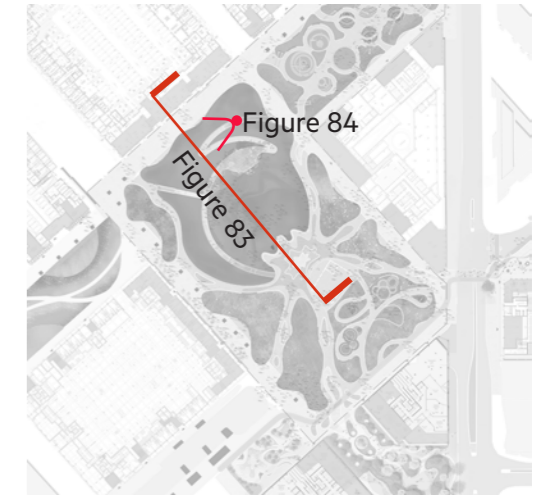


Figure 85. Illustrative view of the route to the top of the mound.

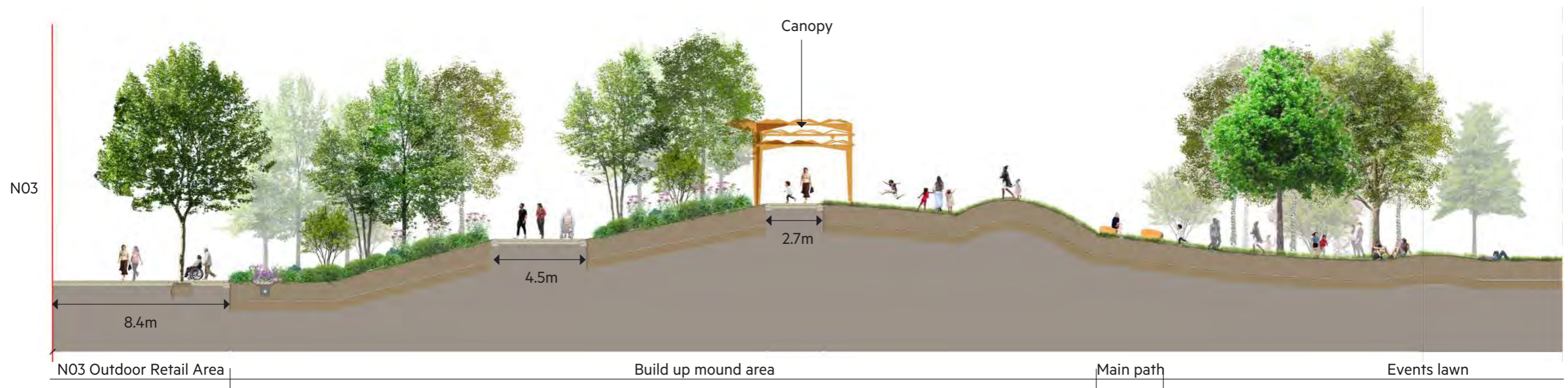


Figure 84. Illustrative section looking east through the mound.








8.5 THE COMMUNITY HUB AND ITS RATIONALE

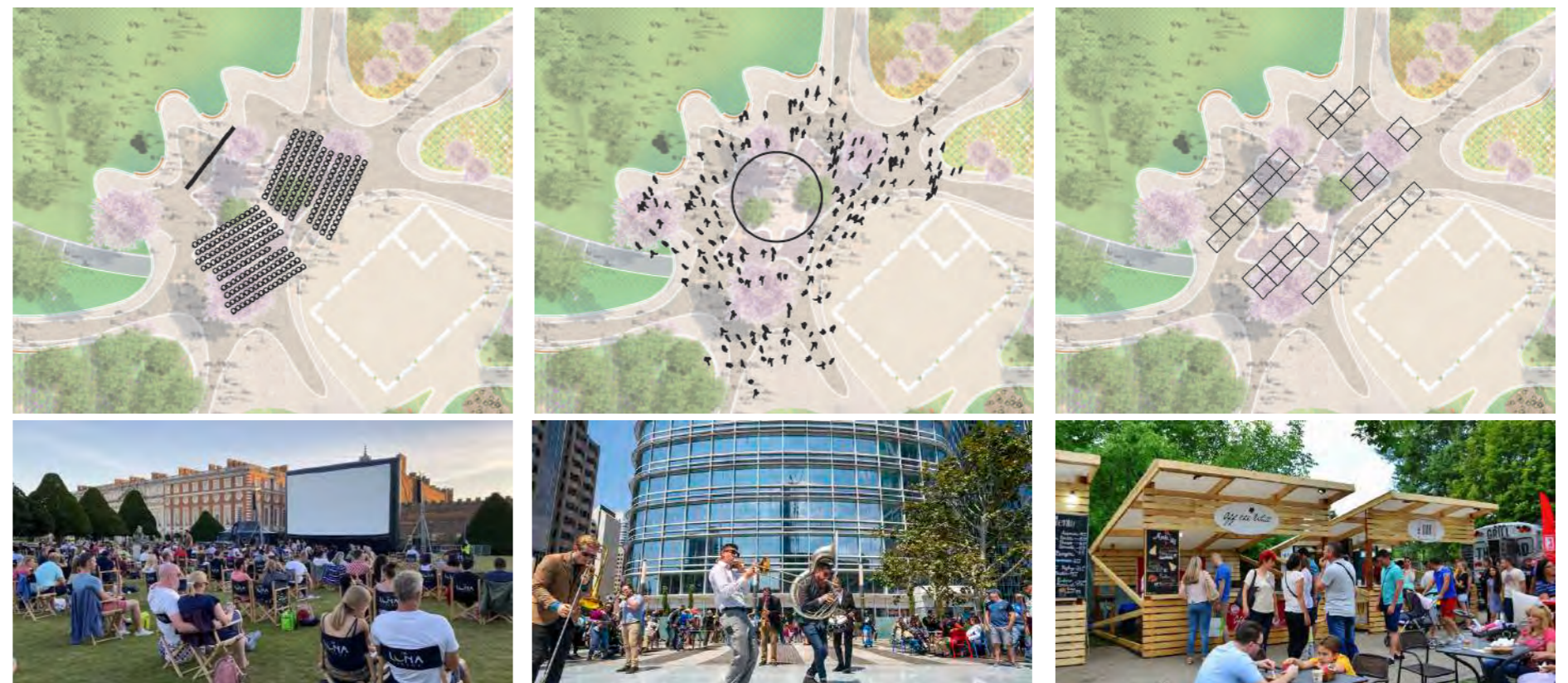
8.5.1 A series of studies were carried out in order to establish the optimal size of the Community Hub. The design started with a 1000-square-meter plaza, which was reduced in response to LLDC's feedback. In an effort to find the right balance, several scale comparisons were done. More importantly, there was a need to find a spatial dimension able to hold events while keeping the greenery of the park. By analysing different neighbourhood plazas, 800 sq m was thought to offer a balanced solution in harmony with the rest of the components of the design.

8.5.2 The Community Hub will have the necessary space to accommodate a variety of events. The different diagrams demonstrate how the plaza could be used in different arrangements to host events such as an outdoor cinema, performances, or seasonal markets.



Neighbourhood and sub centre plazas sizes

| | | |
|---|-------------------------------------|-----------|
|  | St. Paul's Cathedral plaza | 780sqm |
|  | Proposed Community Plaza | 800sqm |
|  | Olympic Park Splash Fountain | 1,138 sqm |
|  | Sloane Square | 2,265 sqm |
|  | Granary Square | 3,784 sqm |
|  | London Skyline Plaza | 4,520 sqm |
|  | Parliament Square | 5,230 sqm |



Outdoor Cinema: up to 290 seatings

Outdoor performances:
For a 80 sqm stage up to 700 persons

Outdoor seasonal: Market up to 38 stalls

8.6 THE COMMUNITY HUB

8.6.1 Community Hub.

The Community Hub is perhaps one of the most important aspects of the design. The existing arrangement does not allow for meaningful events within the park. For example, the seasonal market is currently held at Victory Parade instead of in the park. The design aims to centralise these events within the park by delivering a new hardscape area with new seating areas.

8.6.2 Pavilion.

A new pavilion at the centre of the Community Hub is proposed to activate the centre of the park. It is an integral component of the sequence of spaces that make up the park, comprising the NEAP, the Pavilion, the Community Hub, the Mound, and the Canopy. It signifies a place for people to pause in the public realm and the possibility of having a coffee while surrounded by an immersive garden experience.

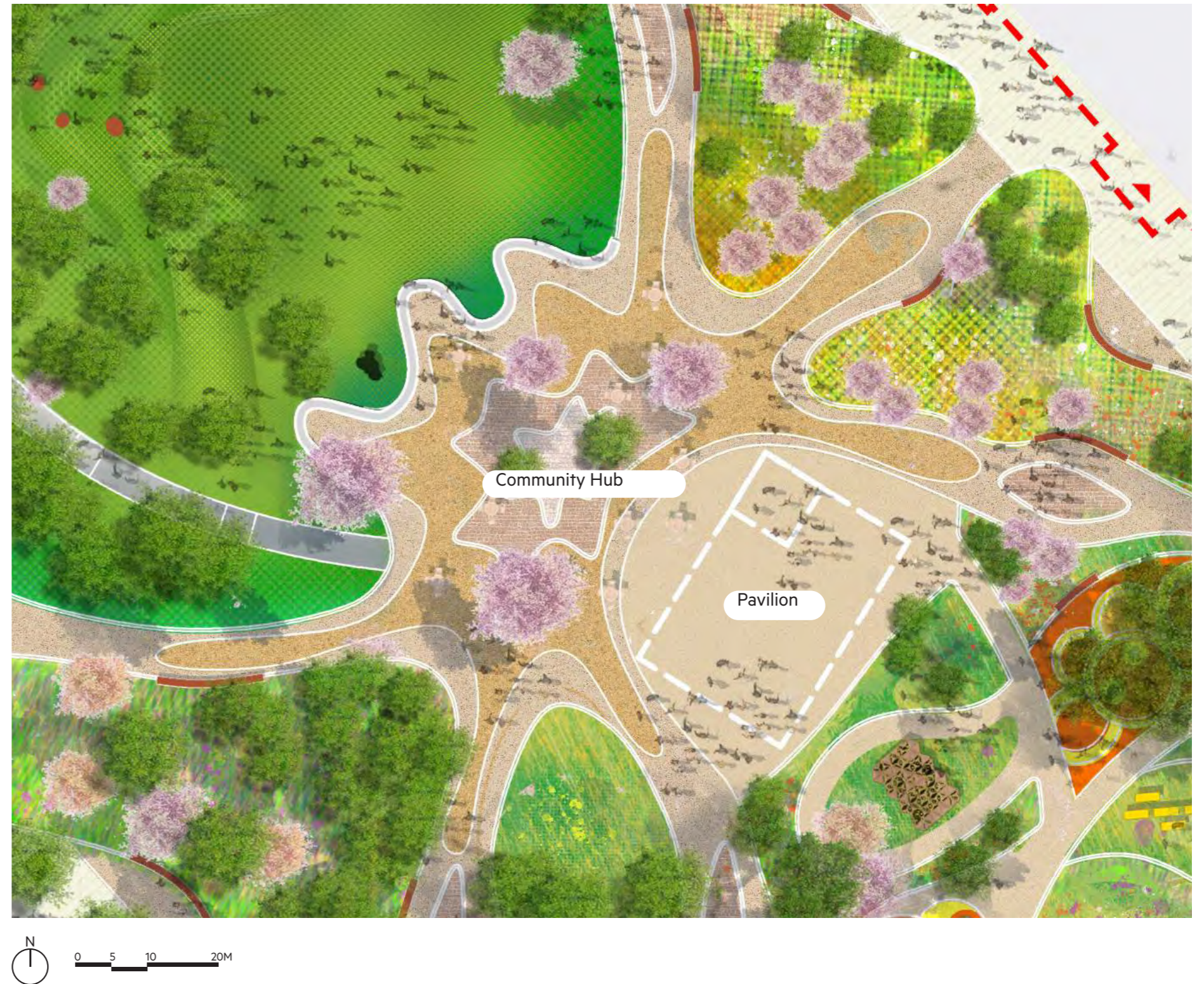


Figure 86. Extract from illustrative landscape masterplan focussing on the Community Hub and Pavilion location



Figure 87. Illustrative view of the Community Plaza and potential Pavilion location

8.7 SECTION THROUGH COMMUNITY HUB

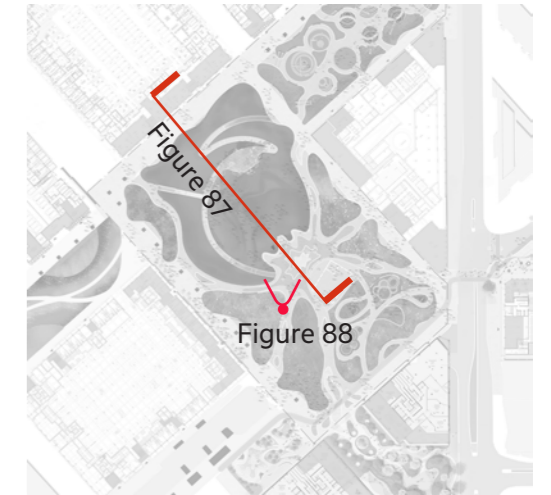


Figure 89. Illustrative view of the Community Hub.



Figure 88. Illustrative section looking east through the mound events space and Community Plaza.

8.9 THE NEAP

8.9.1 The NEAP has been strategically reviewed, reorganized, and relocated. Due to the adjacent development of N18/19 entrances and servicing, access would be impeded by the NEAP in its current location. As part of the uplifting of the public realm, it seems sensible to relocate the NEAP more centrally within Victory Park. It is hoped this will result in a more active space, a more generous layout, and a configuration catering to different age groups and genders.

8.9.2 The relocated NEAP areas are integrated into a site-wide play strategy with a holistic view, factoring in the evolving neighbourhoods and their future requirements.

8.9.3 The new NEAP will align with the existing play provision requirements outlined below:

- To provide at least 1,000 square metres of play area;
- The play is targeted at children aged 10 and older as well as young people;
- The existing NEAP contains 11 different pieces of gym equipment, which will form part of the new layout.



Figure 90. Illustrative diagram showing the relocation of the NEAP to Victory Park

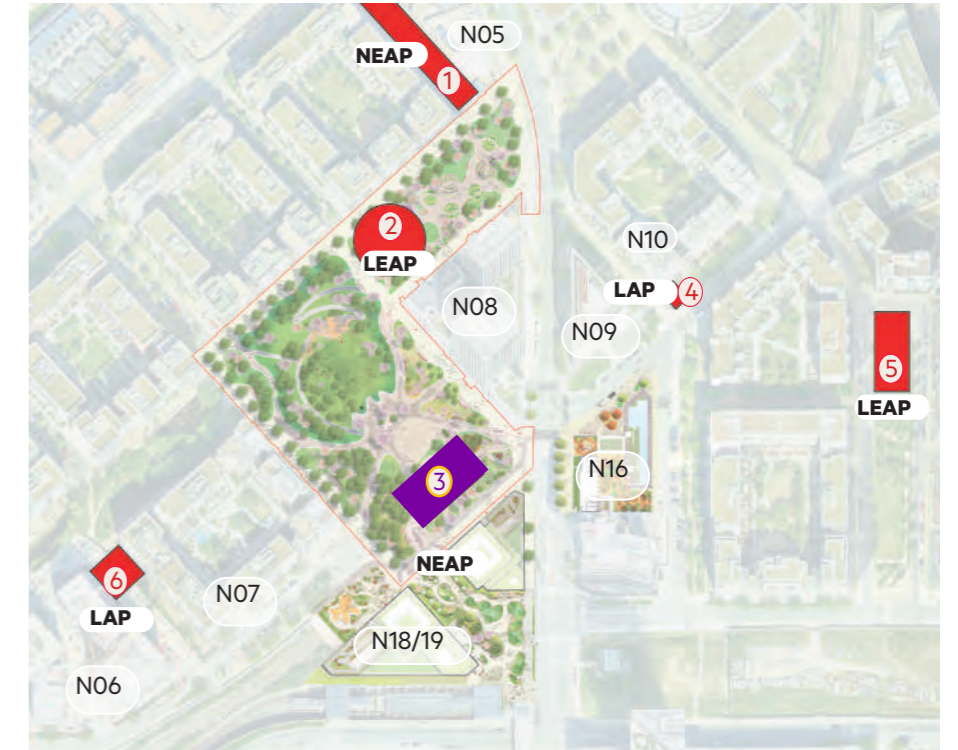


Figure 91. Illustrative diagram of the resulting play space locations in East Village

LEGEND

- 1. N05 NEAP NEAP 1000 sqm
- 2. Belvedere LEAP
- 3. Victory Park NEAP
- 4. Existing LAP
- 5. Stratford Green LEAP
- 6. Ravens Walk LAP

THE NEAP

8.9.4 The NEAP will comprise five different 'rooms' providing distinctive types of play experience offering 11 different pieces of play equipment for different users.

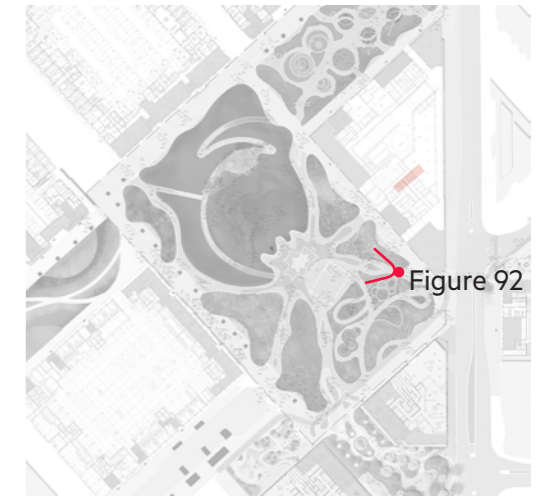


Figure 92

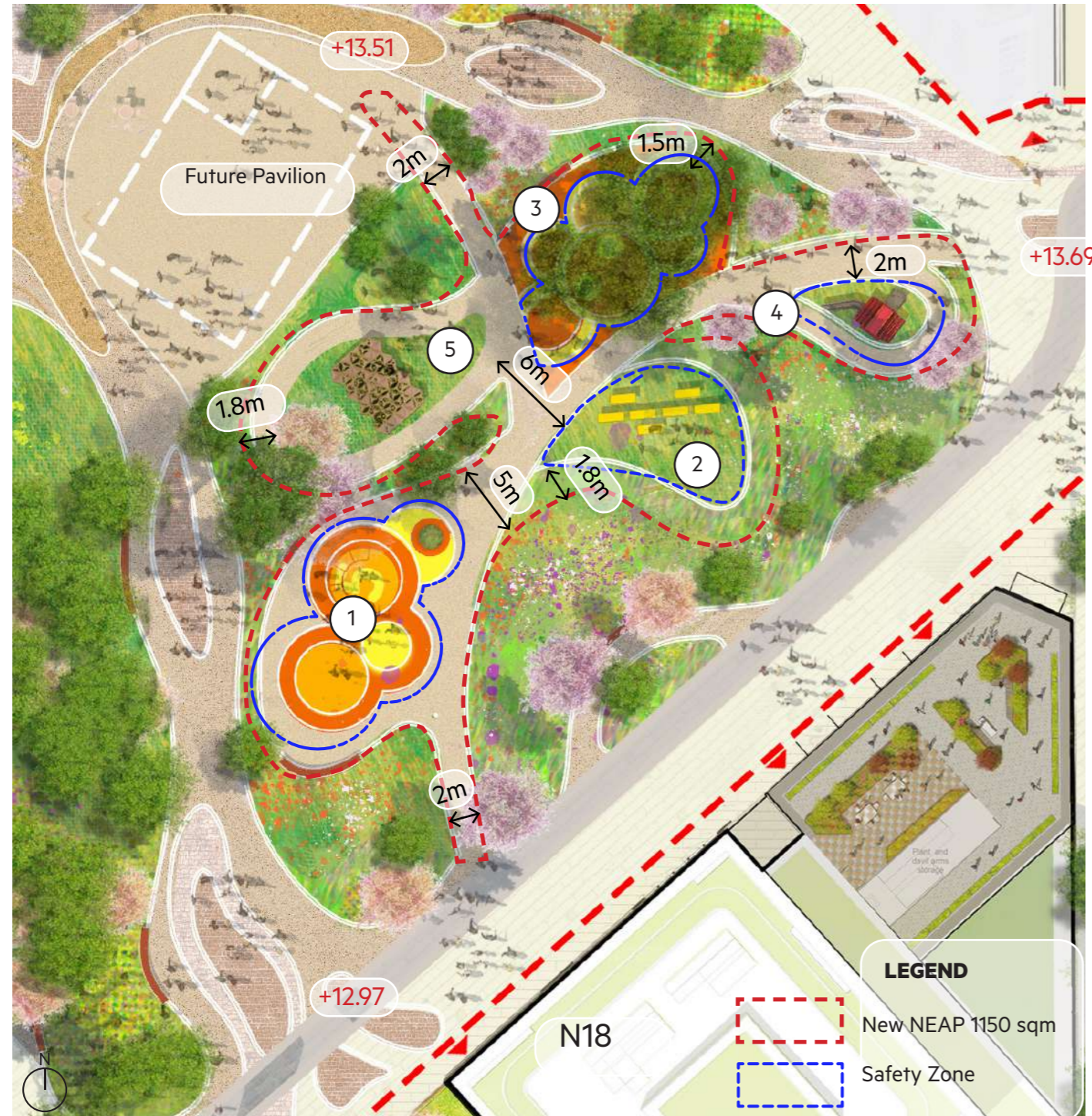


Figure 92. Illustrative diagram showing the NEAP area

LEGEND

- ① Creative Jungle gym: monkey bars, beams ,etc.
- ② Contemplative multifunction lawn: yoga, hammocks, etc.
- ③ Outdoor Fitness: strength and cross training equipment
- ④ Natural play: elevated walkways, timber pods and sliders
- ⑤ Swing garden: swings and lounge



Figure 93. Illustrative view looking towards the NEAP area

THE NEAP

- 8.10.1 The proposal provides a clear hierarchy for the different routes. The NEAP has been carefully designed to provide observation points and different resting areas from which parents or caregivers can observe their children and rest.
- 8.10.2 The circulation has been structured in a Y shape, with three entrances; one from the corner between Victory Park and Celebration Avenue; another from the junction between N18/19 and Victory Park; and a third one from the Community Hub. The spatial configuration, visual connections, and paving allow for easy orientation.
- 8.10.3 All the paths, equipment, and resting areas have been designed following the inclusive guidelines set by the LLDC.
- 8.10.4 The new location of the NEAP provides several benefits to the park but also to the users of the facilities:
- The new NEAP is overlooked by different elements, making it more visible and easily accessible.
 - The spatial configuration and its careful integration with the existing and proposed trees provide a safer environment.
 - The NEAP sits in the park surrounded by lush perennials, delivering an immersive biophilic design that contributes to a calm and relaxed feeling, improves well-being, and delivers a pleasant visual experience.



Figure 94. Illustrative diagram showing the proposed NEAP area

THE NEAP

8.10.5 The NEAP provides a much-needed and positive space for older children and young people. It offers a place for energetic activity and appeals to the targeted demographics. A series of gym-like pieces of equipment may be used for an array of activities, including stretching, vaulting, jumping, balancing, and climbing, as well as perching to watch the action.

8.10.6 The passive play areas provide a safe space for calming and contemplative activities, comprising specific spots with lounge areas for activities such as art, games, reading, etc. The play equipment includes swings, yoga, and climbing.



Figure 95. Illustrative diagram showing the proposed NEAP area

8.11 THE NEAP: PROPOSED PLAY EQUIPMENT

8.11.1 The relocation of the NEAP from Anthems Way to Victory Park is one of the key moves in the new spatial configuration of the East Village public realm. The new NEAP is underpinned by an inclusive and biophilic design. The NEAP comprises four different zones, catering to distinct age groups and genders. The active zone comprises an outdoor gym area and a play zone for children. The passive zone comprises a yoga lawn and a canopy with swings, which can be transformed into an area for picnics, gatherings, etc. The new NEAP is 1,000 square metres and offers a play experience in which the trees, perennials, and shaded areas provide a rich experience and a direct contact with nature. The design favours the use of timber and organic edges, improving on the currently overexposed NEAP area. The following is proposed:

- Balance Board
- Hanging obstacle course element
- Cross Trainer
- Step / Sit Up Bench
- Leg Lift and Pull Up
- Climbing Obstacle
- Timber Hammock / Hexagon Pull Up Station
- Canopy Swings

8.11.2 The NEAP play area proposal allows a mix of abilities to play and exercise within the same space. Equipment has been selected to accommodate play and exercise for all ages and abilities.



Balance Board



Hanging obstacle course element



Disabled Combo



Steps



Sit Up Bench



Leg Lift and Pull Up



Climbing obstacle



Timber hammock



Hexagon Pull Up Station

LEGEND

-  Balance Board
-  Hanging obstacle course element
-  Disabled Combo
-  Steps
-  Sit Up Bench
-  Leg Lift and Pull Up
-  Climbing obstacle
-  Timber Hammock
-  Hexagon Pull up station
-  Canopy swings

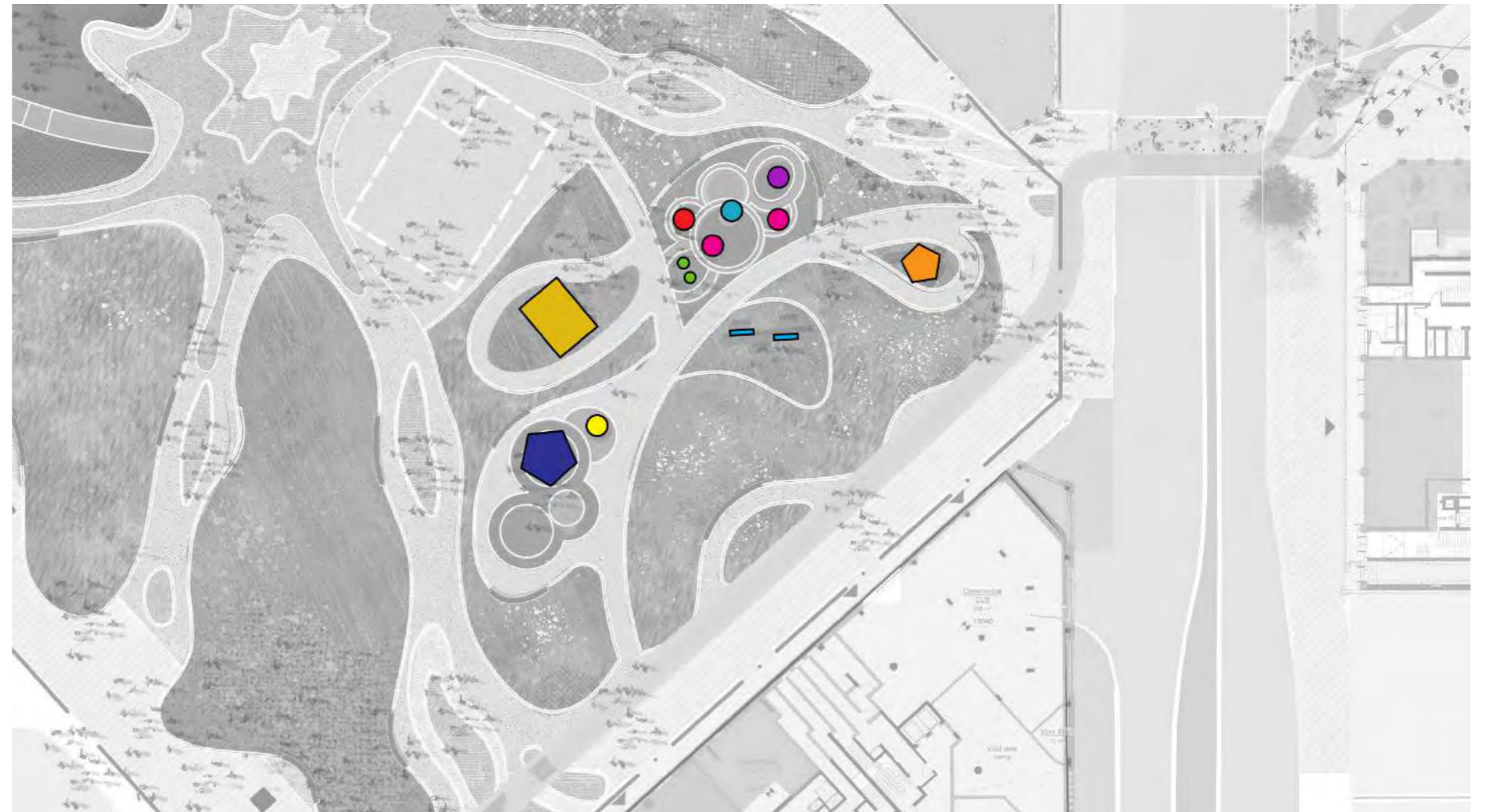


Figure 96. Plan showing location of NEAP play equipment



Canopy swings

8.12 SECTION THROUGH THE NEAP

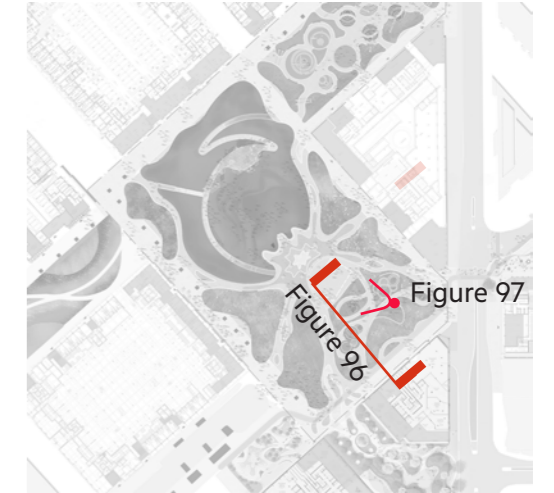


Figure 98. Illustrative view showing the canopy with swings.

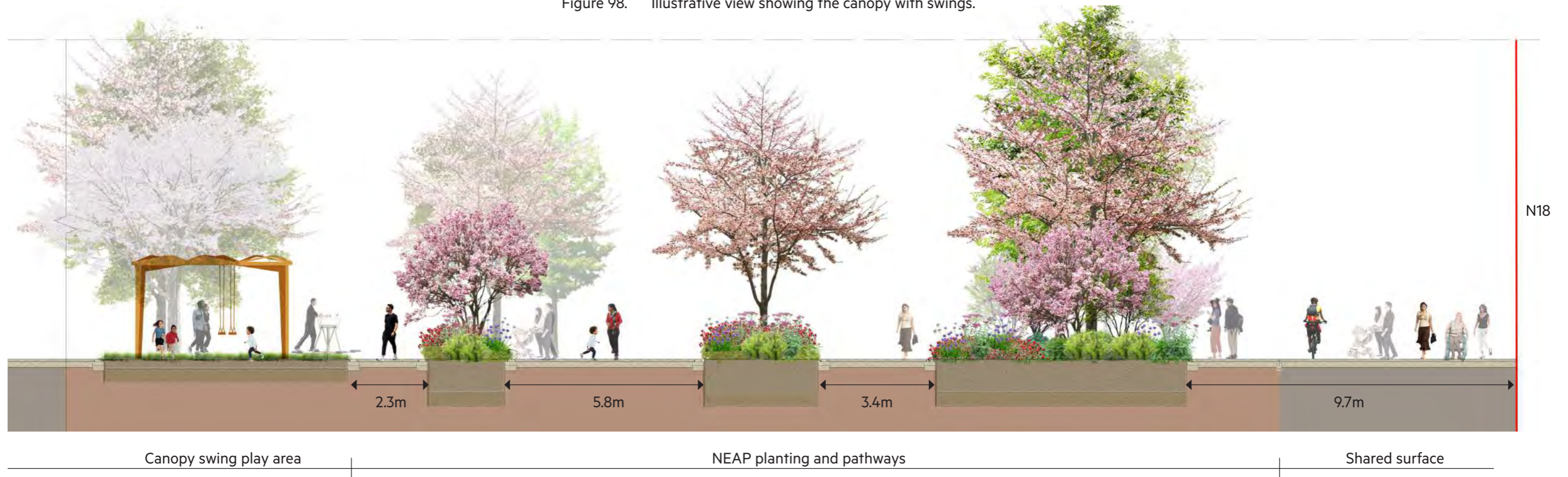


Figure 97. Illustrative section looking east through the NEAP area

8.13 SECTION THROUGH THE NEAP



Figure 100. Illustrative view of the proposed outdoor fitness area



Figure 99. Illustrative section looking north through the NEAP area





The background of the slide is a solid pink color. On the left side, there is a large, intricate white line drawing. The drawing consists of several thick, flowing lines that form a complex, organic shape. It resembles a stylized tree or a large, abstract letter 'G'. The lines are smooth and curved, with some circular elements at the bottom. The overall style is modern and artistic.

9.0 The Pavilion

9.0 THE PAVILION

9.1 THE PAVILION: INTRODUCTION

9.1.1 This chapter will set up the design parameters for the Pavilion, including the maximum GIA (gross internal area), height, location of active frontages, toilet provisions, and minimum areas for storage and servicing, which are shown diagrammatically within this section. This application seeks approval for the principle of a Pavilion, its size, location, and the rest of the parameters listed above. The detailed design will be reserved for future approval.

9.1.2 In delivering the Victory Park improvements, the Applicant will take every opportunity to use the investment, design, and delivery to leverage extra benefits specifically for local people, in the true spirit of social value creation. A design competition for the Pavilion will encourage:

- The design to be inspired by the context, with an identity created by and reflecting the communities;
- Local people could influence the design and decision making.

This will:

- Reflect local identities;
- Foster local ownership and pride in the Pavilion;
- Encouraging positive and proactive community involvement in the public realm.

9.1.3 The Pavilion should include a retail kiosk/café with seating and a flexible space to host a range of events such as exhibitions, community events, etc. The usage of the Pavilion will expand on the current community centre, N05's new Hall (moving from N01), currently located within plot N01, and offerings will include events such as: Tai Chi; Yoga; Girl Guides; E20 Board Games Group; East Village Parents' Club; craft clubs; dance lessons; book clubs; and a food bank.

9.1.4 The Pavilion will provide shelter during all seasons, to avoid being underutilised during the winter months.

9.1.5 The Pavilion should be a Use Class E to allow for future flexibility.

9.1.6 The Pavilion should be capable of holding 100 to 200 people. GIA should be a maximum of 200sqm inclusive of 25sqm for WCs.



Figure 101. Illustrative image showing the Community Hub



Figure 102. Possible Activities





9.2 THE PAVILION: ASSESSING THE LOCATION

9.2.1 In order to assess the best location for the Pavilion within the park, the design team has analysed the microclimate through the different seasons, specifically mapping wind and sun exposure across the site.

9.2.2 The sun exposure analysis during winter and summer shows the best areas in terms of direct sunlight are located in the southwest and central areas of Victory Park. This is critical because the Pavilion's location must include outdoor seating areas as well as allow for clear sight lines to the Community Hub, the NEAP, and the mound.

9.2.3 The wind comfort levels benefit from the protection of the mound and its basin shape, as the best comfort areas during the summer are situated in an area located in the centre of Victory Park.

9.2.4 By overlaying the sun exposure and the wind comfort levels during the summer season, an area (identified by a red dashed line in the adjacent diagram) is highlighted as the optimal location for the Pavilion.

9.2.5 The proposed building location has a suitable relationship to the adjacent buildings in that it complements rather than interferes with their existing uses.

- LEGEND**
- Wind comfort area
 - Areas with sun exposure
 - Best area considering wind comfort and sun exposure summer comfort

Summer



Winter

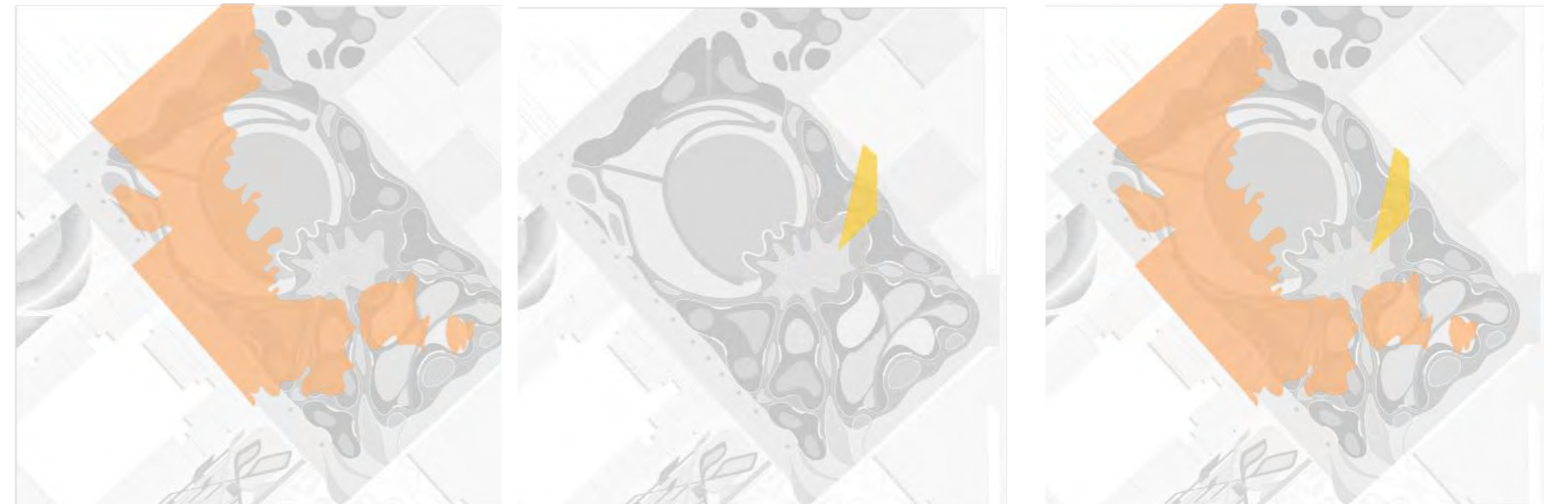


Figure 103. Illustrative diagrams showing the wind and sun exposure across the site

THE PAVILION: ASSESSING THE LOCATION

- 9.2.6 Once the optimal area in terms of microclimate is identified, other constraints are then overlaid. The main elements posing a constraint in the existing layout, such as the habitat area and the extent of the mound, are highlighted on the diagrams adjacent.
- 9.2.7 The extent of the mound is not a major factor in the decision, as it will be reshaped to accommodate the Community Hub and create new gathering spaces to be utilised by the users.
- 9.2.8 The habitat zone is a bigger constraint as one of the locations of the Pavilion would impact its current location.
- 9.2.9 As the habitat zone will be relocated in the adjacent area to the Portlands, and given the results of the best zones of comfort, we can conclude that the Pavilion could be situated in the central space, favouring a sequence comprising the mound, the Community Hub, the Pavilion, and the NEAP.

Summer comfort



Winter comfort

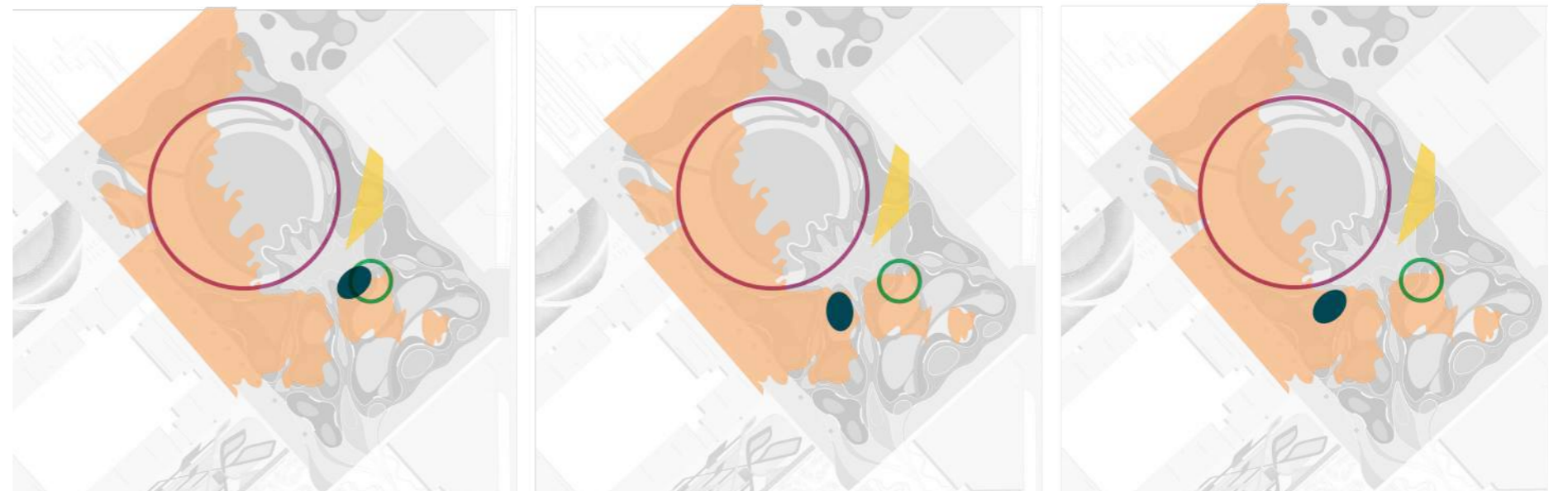
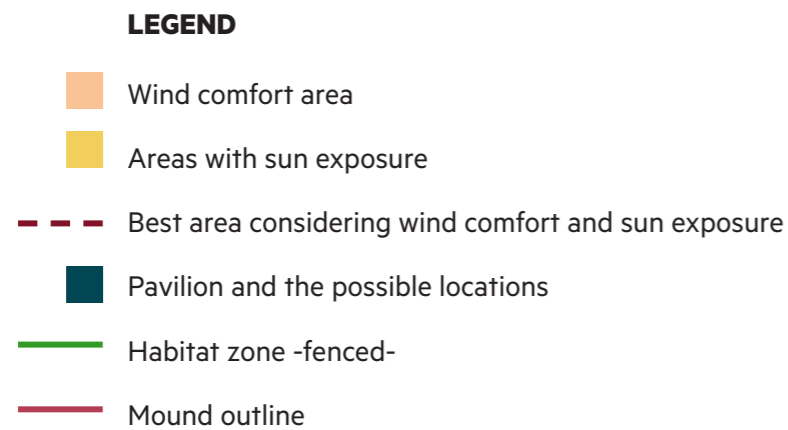


Figure 104. Illustrative diagrams showing the wind and sun exposure across the site and highlighting potential opportunities

9.3 THE PAVILION AND ITS OBJECTIVE

9.3.1 The Pavilion has a clear aim: to activate the Community Hub by providing a new space for the community to use and enjoy. This planning application seeks consent for the quantum, uses, and parameters, reserving the detail of the final layout, external appearance, and detailed design by condition.

9.3.2 The aspiration of the applicant is to develop the Pavilion proposals through a design competition with a clear brief outlining the parameters.

9.3.3 A series of studies have been carried out through the pre-application process to assess the right dimensions of the Pavilion. 200 sqm is the parameter of the GIA of the Pavilion, derived from the intended use and context of the site location and its capacity.

9.3.4 The Pavilion includes the following:

- **Two entrances to the Pavilion.** One will be located on the frontage near the Community Hub. A second entrance will be located adjacent to the new NEAP.
- **Two active frontages enable clear sight lines.** The facade of the Pavilion adjacent to the Community Hub will be open, allowing for a clear view of the mound and other park areas. The facade of the Pavilion adjacent to the NEAP must be equally active, with a clear view of the play areas. This is critical as it will improve the natural surveillance of the NEAP.
- **A service entrance.** Service access will be done through Anthems way via paths with a minimum width of 4m.
- **Kitchen and storage.** The provision for a kitchen of 30 sqm and storage shall be situated on the SW facade, without obstructing the active frontages. In the same location, a provision of 5 sqm for waste management is made.
- **Public toilets and Pavilion.** Public toilets will be situated within the Pavilion but with an independent entrance. The toilets will be located on the NE facade, with two entrances.



Pavilion Groundfloor Max. 200 sqm GIA

Public WC 25sqm within the Pavilion GIA of 200sqm
1 accessible room
4 individual rooms (Unisex)

LEGEND

- Extent of Pavilion plot
- Pavilion Max. GIA

Figure 105. Extract from illustrative plan showing potential Pavilion location

9.4 THE PAVILION: PRECEDENTS












9.4.1 These will be further described in Section 21



9.5 THE PAVILION: DESIGN PARAMETERS

9.5.1 The diagrams represent an indicative massing and floor plan of the Pavilion to aid with understanding the design parameters. The shape and form will be subject to future competition.

LEGEND

-  Active frontage
-  Main entrance
-  Service entrance
-  NEAP entrance
-  Public WC entrance
-  Main space 178 sqm
-  Public WC 25sqm
-  Kitchen 15 sqm
-  Waste storage 5 sqm
-  Service van parking area
-  Service route of 4m width

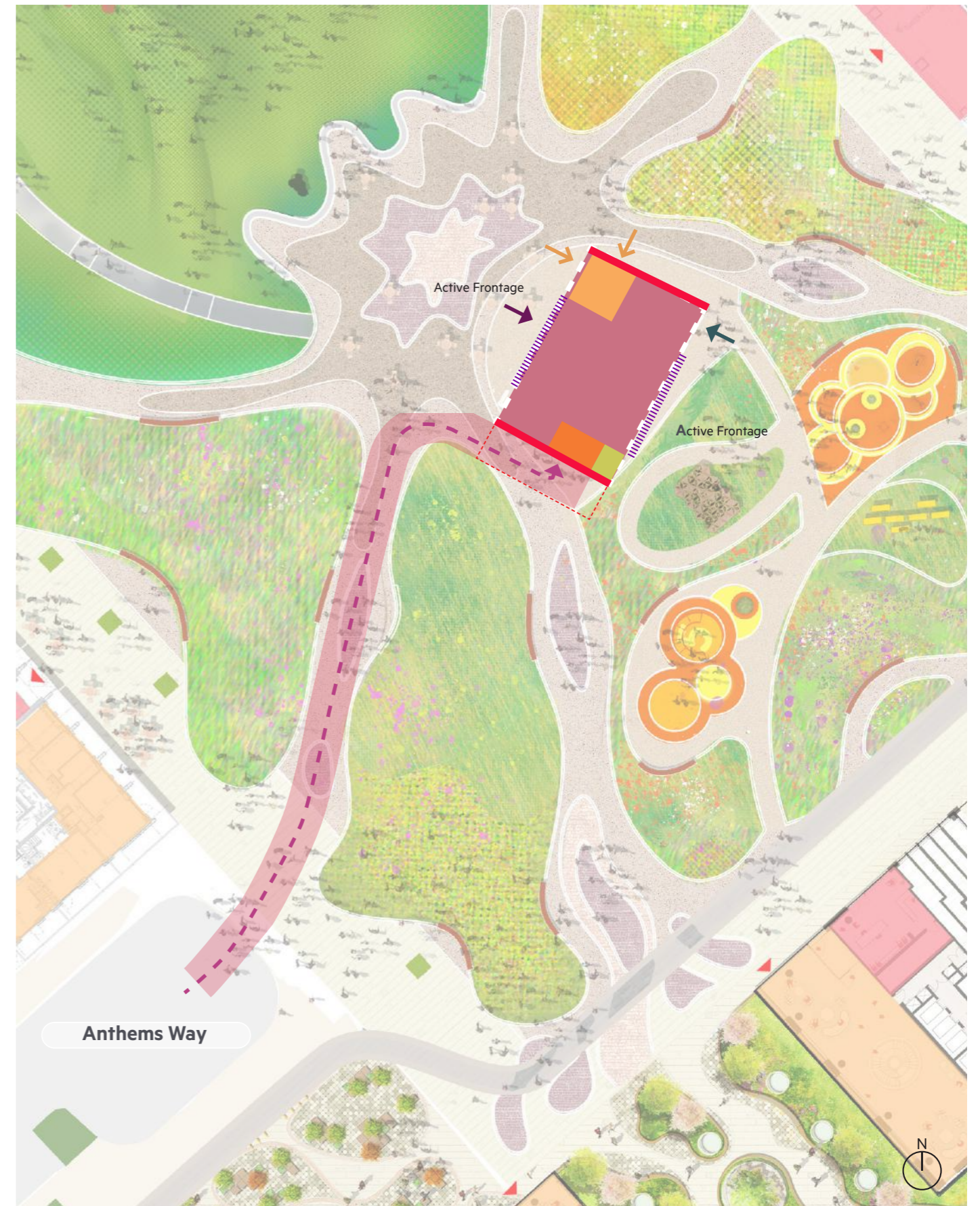


Figure 106. Illustrative diagrams showing the potential uses for the Pavilion

9.6 THE PAVILION: INDICATIVE MASSING AND FRONTAGES

9.6.1 The image illustrates the maximum massing and design parameters.

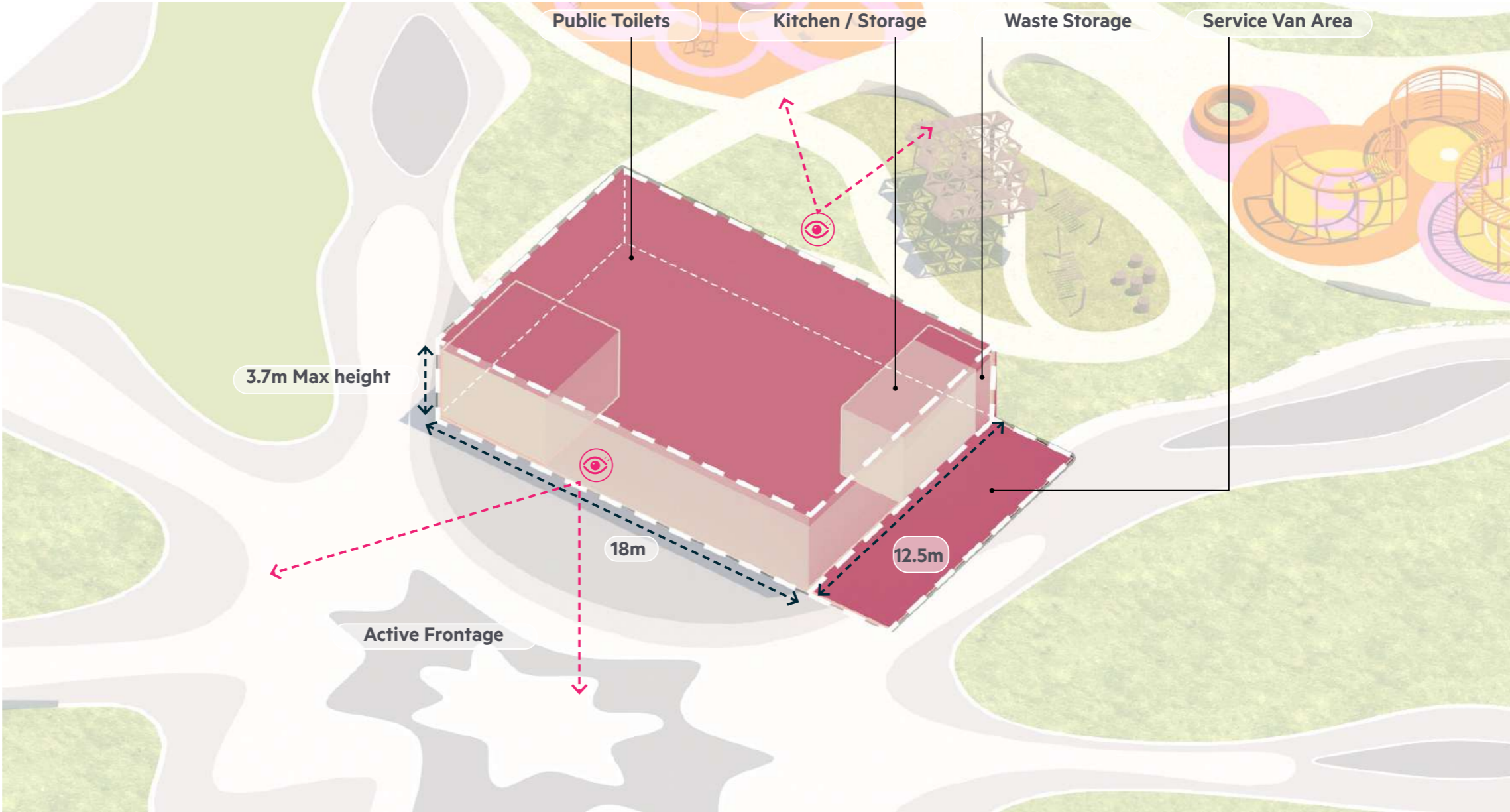


Figure 107. Illustrative diagrams showing the potential scale of the proposed Pavilion

9.7 THE PAVILION: PUBLIC TOILETS

- 9.7.1 Public toilets within the Pavilion will serve both Victory Park and the Belvedere.
- 9.7.2 The public toilets, included as part of the Pavilion, are within an accessible distance of the LEAP at 100m and would take approximately 1 minute and 30 seconds to walk from the LEAP to the public toilet. It is worth mentioning that the original location in the RMA for the public toilets was within N18/19. The new proposed location in Victory Park is an improvement from this base scenario. As it is expected that many of the children visiting the LEAP will live nearby, a dedicated toilet within the Belvedere is not proposed.
- 9.7.3 The NEAP (neighbourhood equipped area for play) is adjacent to the Pavilion, and the public toilets are less than 25m from the central area of the NEAP.
- 9.7.4 LEAP and NEAP have direct sight lines to the public toilets, as shown on the adjacent diagram.



Figure 108. Illustrative diagrams showing visibility and access to the proposed Pavilion location

The background of the page is a vibrant pink color. On the left side, there is a large, abstract graphic composed of thick white lines. These lines form a complex, organic shape that resembles a stylized tree or a cluster of interconnected paths. The lines are fluid and curvy, creating a sense of movement and depth. The right side of the page is a solid, uniform pink color, providing a clean backdrop for the text.

10. The Canopy

10.0 THE CANOPY

10.1 THE CANOPY

- 10.1.1 The traditional interpretation of landscape design up to the 70's was largely focused on planting. That has changed dramatically with the understanding that the landscape is anything natural or artificial that is able to inform the conception of the public space. Nowadays, designers are expected to create recognisable and memorable spaces.
- 10.1.2 The crest of the mound is underutilised, although it is an asset for the scheme. By making the crest accessible with the new path, the usability of a new space is improved. The canopy is accessed via a universally accessible route.
- 10.1.3 The crest of the mound offers a walkway, providing sight lines to all the elements of East Village. It is a stepping stone to discovering more.
- 10.1.4 The canopy is placed strategically to take advantage of the circular shape of the crest of the mound. It will be a focal point for visitors; it will set apart the park from others in London and become an icon of Victory Park.
- 10.1.5 The canopy has been located in a predominantly exposed area to the sun and has been carefully designed with different levels of opacity to provide shelter but also transparency, allowing for interesting shadows to form on the path below.



Figure 109. Extract of the illustrative plan showing the proposed Canopy

THE CANOPY

- 10.1.6 The canopy has different heights, creating a dynamic structure that adjusts to the undulations of the mound.
- 10.1.7 The canopy includes swings that hang from the structure, creating a unique play experience for kids and adults while viewing the park.
- 10.1.8 The canopy is a stepping stone. By seeing it from The Gateway, pedestrians will be attracted to the canopy, which will then allow them to observe the Portland's and Belvedere and retail units.

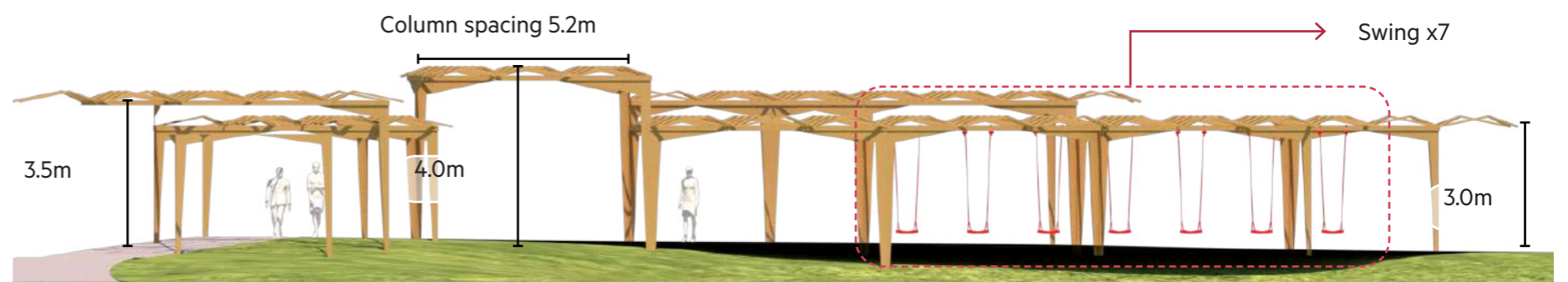
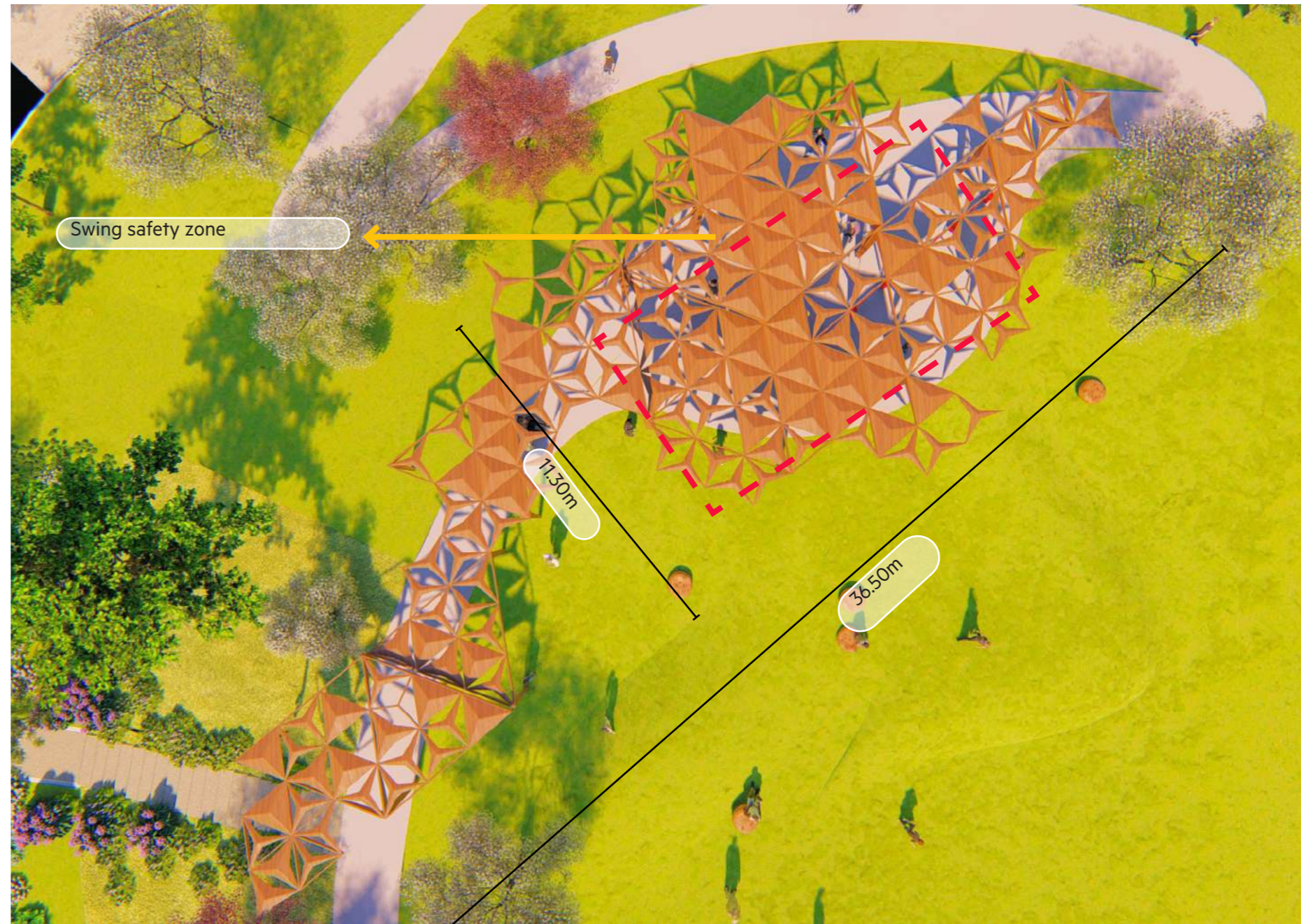


Figure 110. Illustrative plan and section of the proposed canopy

10.2 THE CANOPY: PRECEDENTS



10.3 THE CANOPY: AERIAL VIEW

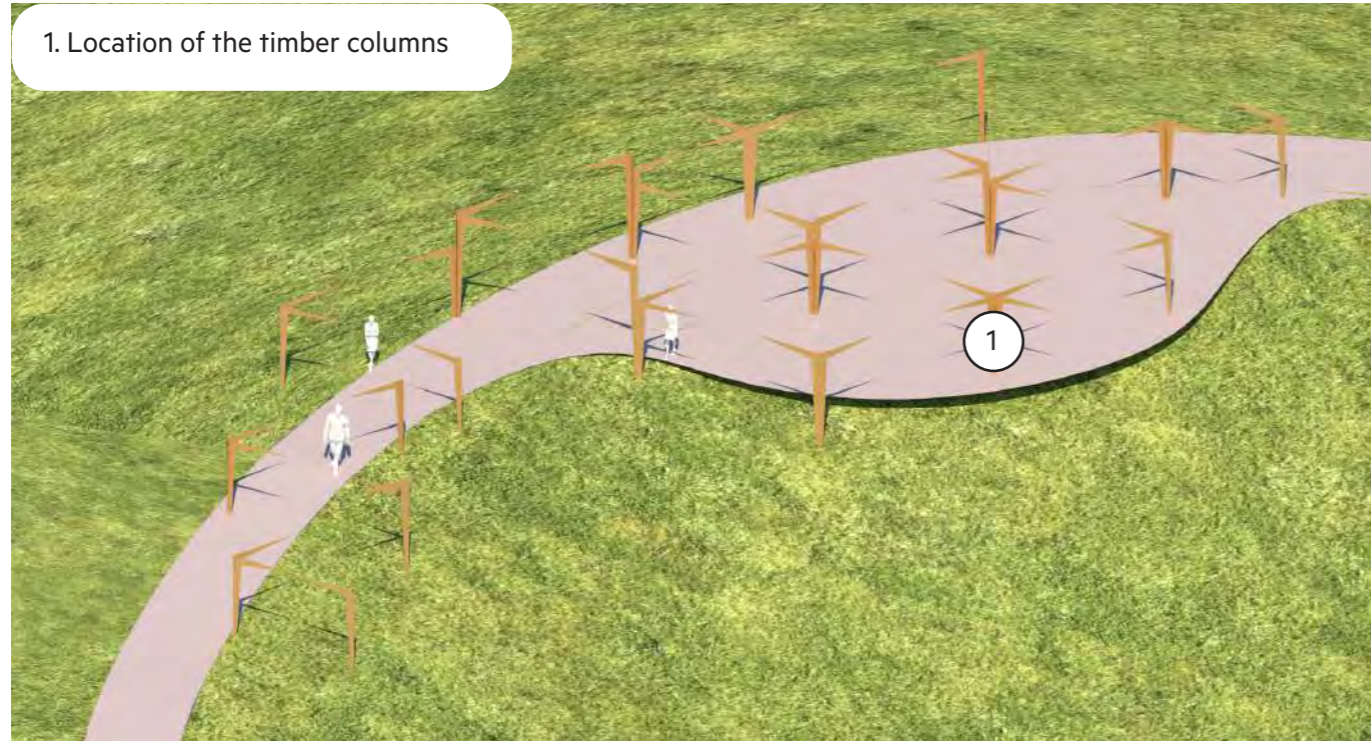


10.4 THE CANOPY: EYE LEVEL VIEWS

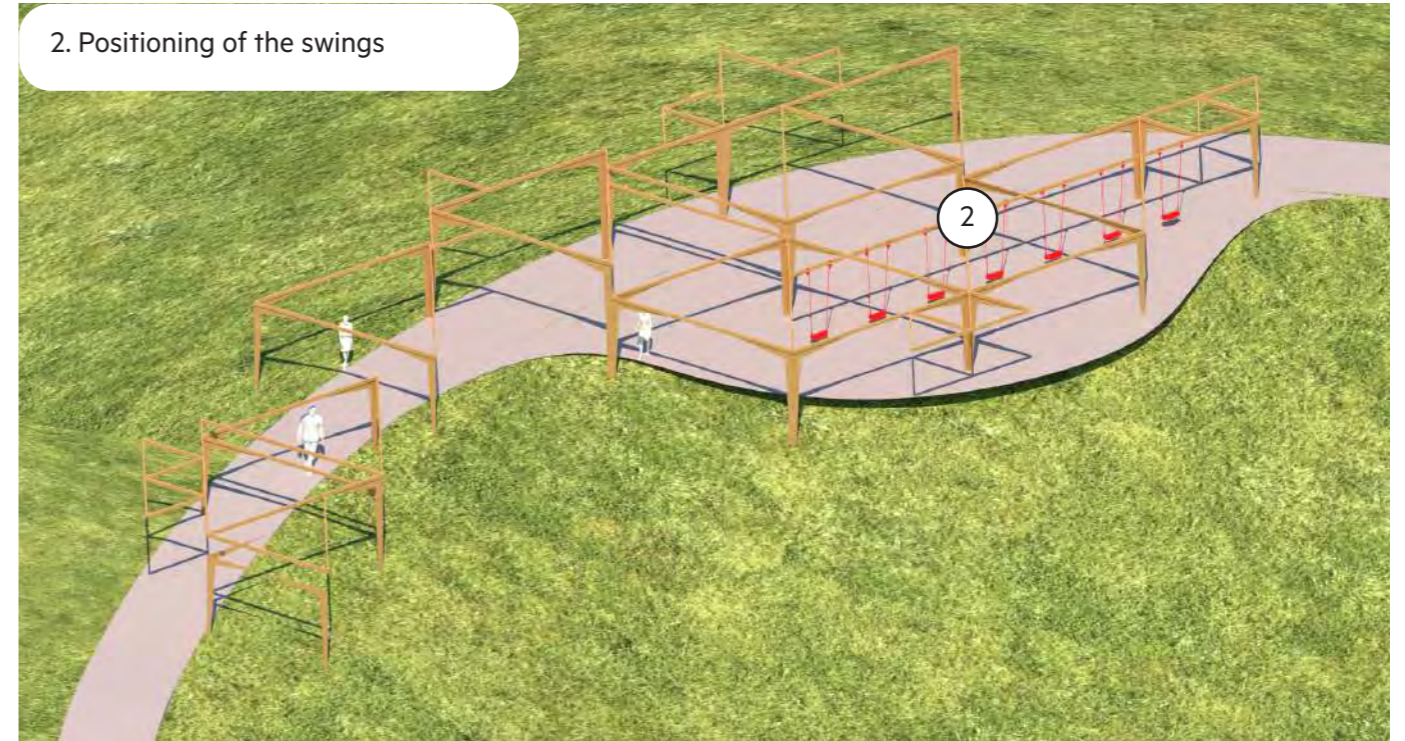


10.5 THE CANOPY: COMPONENTS

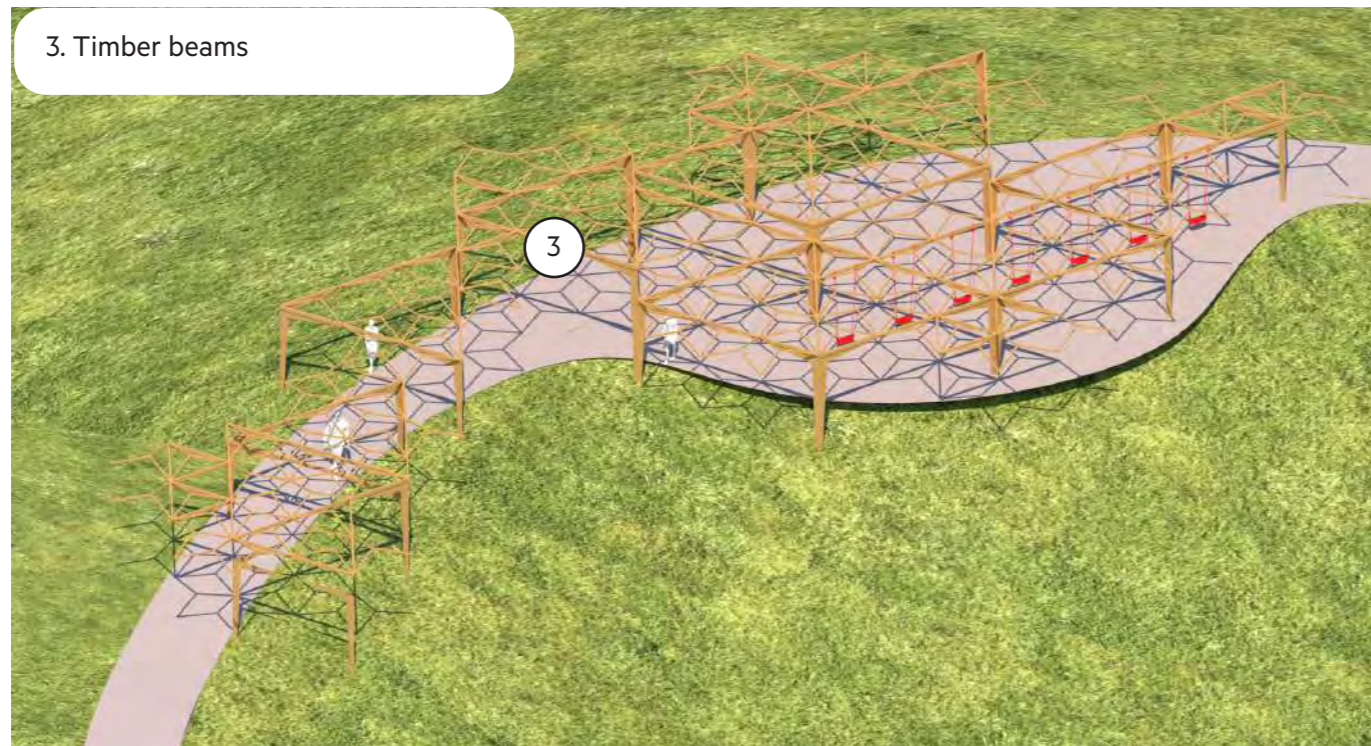
1. Location of the timber columns



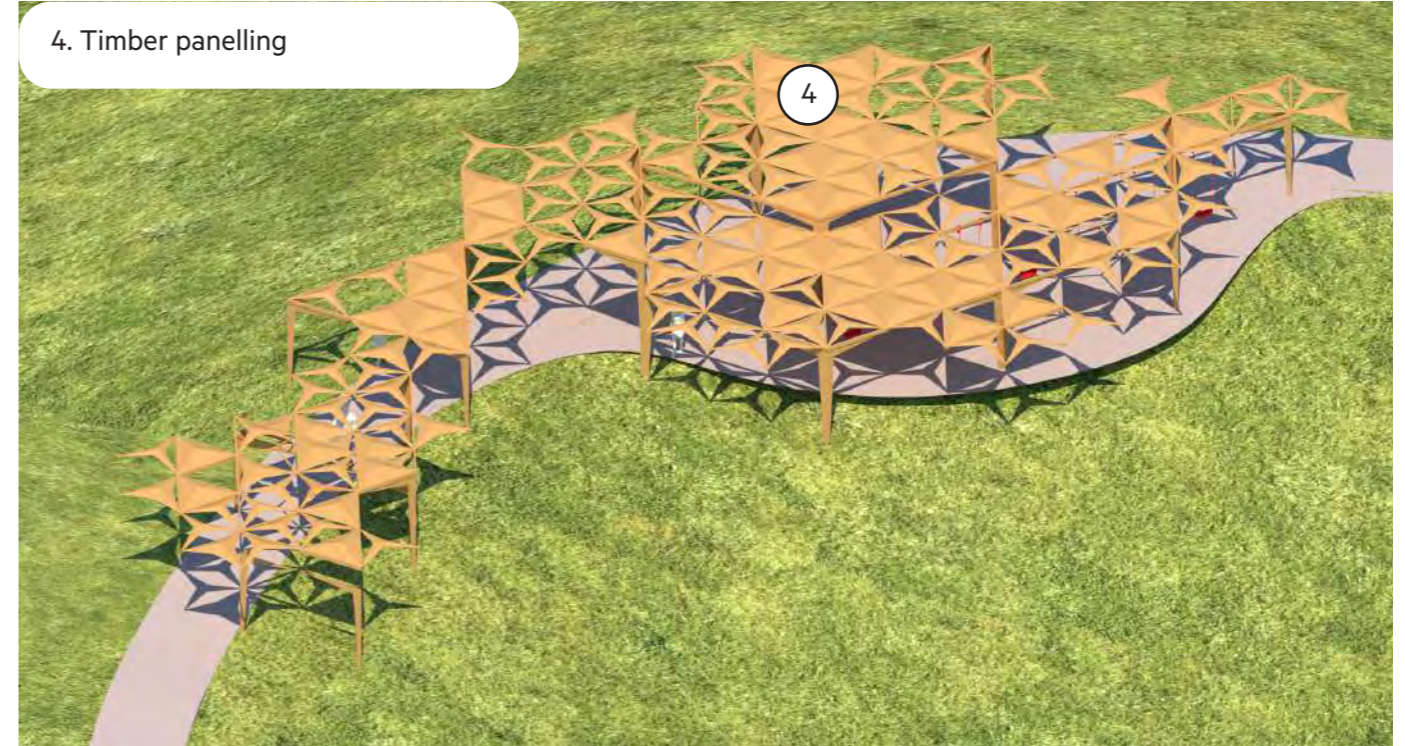
2. Positioning of the swings



3. Timber beams

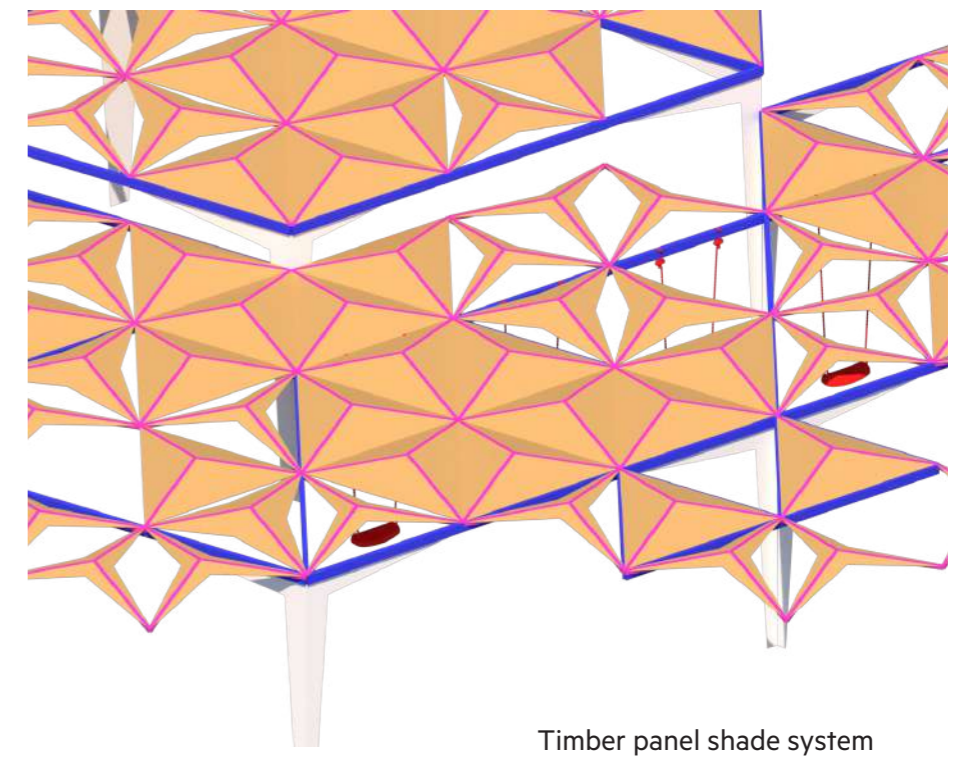
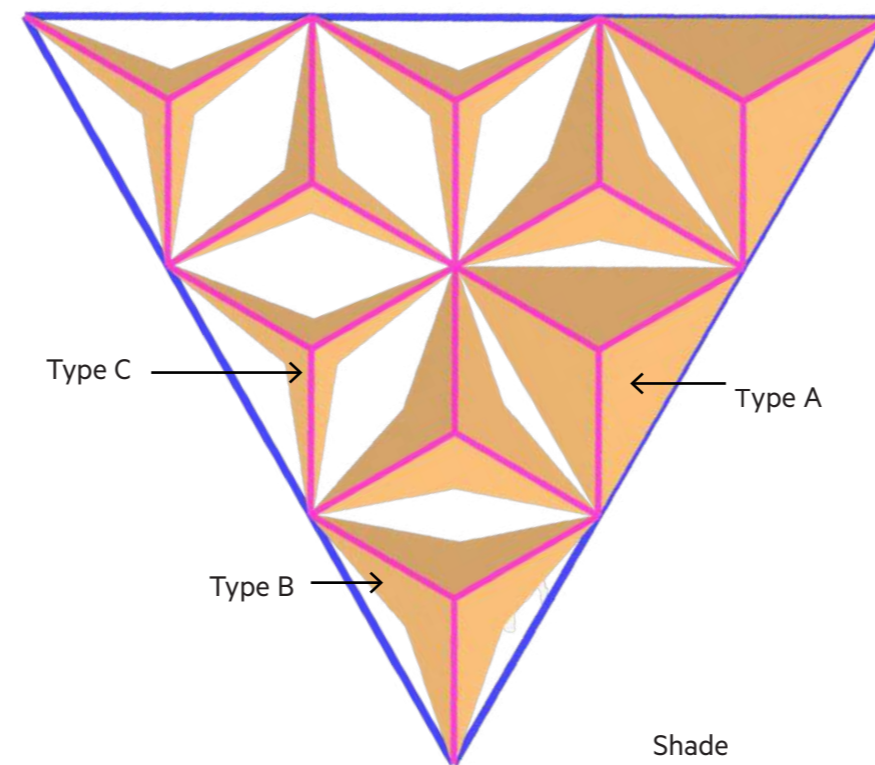
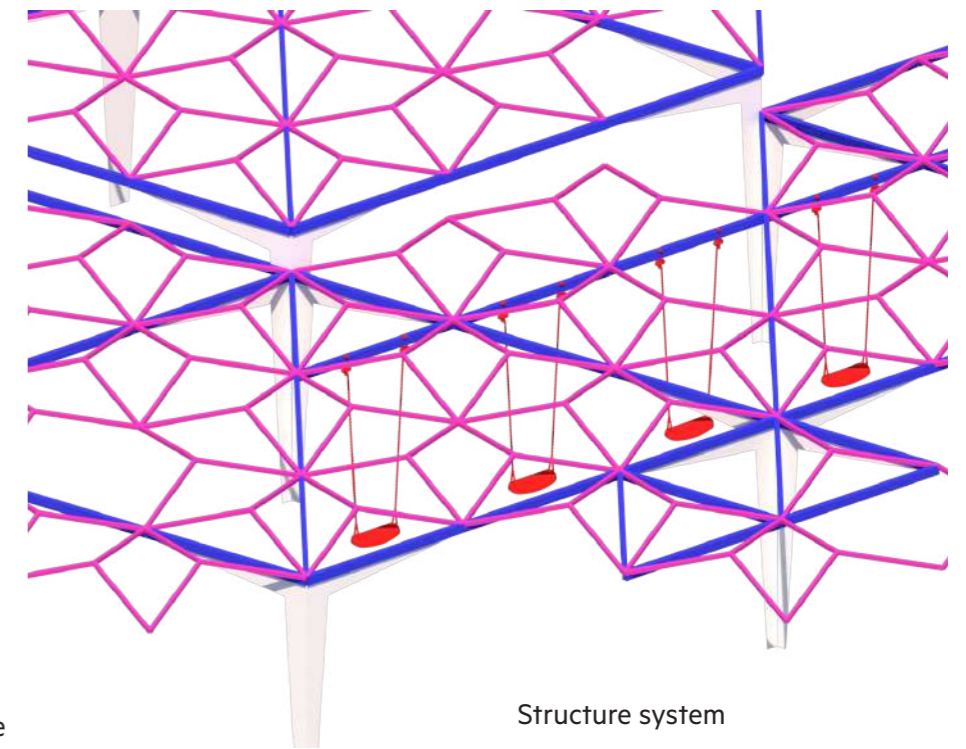
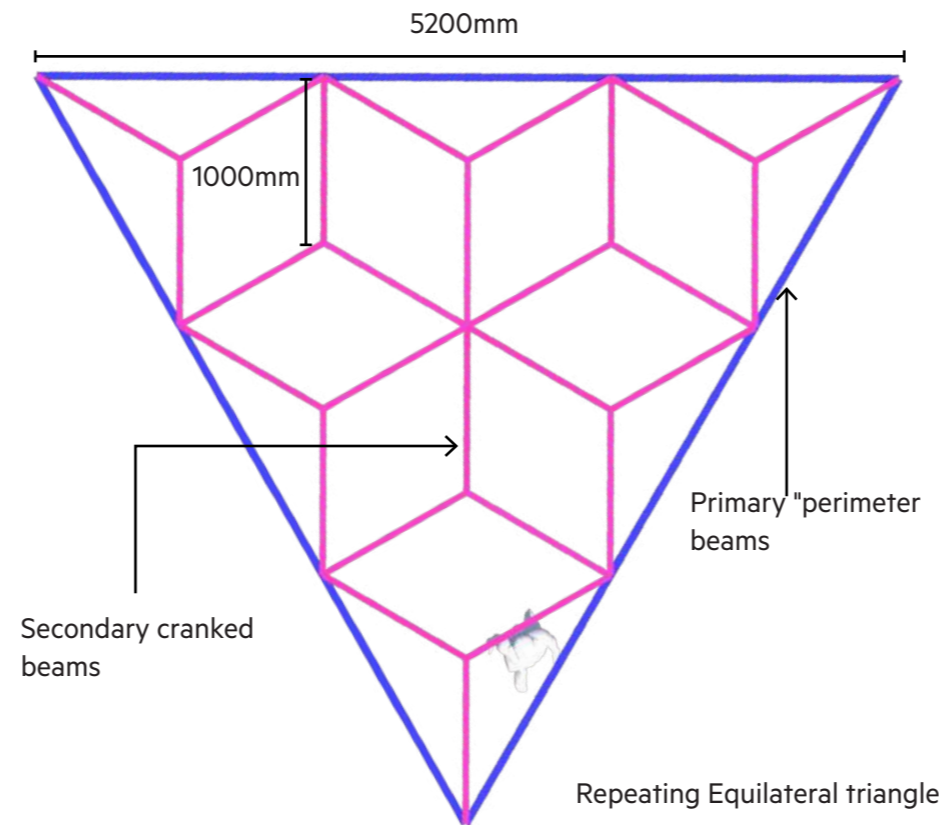


4. Timber panelling



10.6 THE CANOPY: STRUCTURE

- 10.6.1 The canopy structure is formed of a repeated pattern of components that are adapted to form an engaging experience when viewed from within and from afar.
- 10.6.2 The structure consists of a triangular shape that is then subdivided into smaller pieces. A primary beam frames each of the structural triangles with a secondary cranked beam.
- 10.6.3 The canopy will provide shade by using three different types of timber panelling with varying degrees of transparency. This will make the canopy more opaque in certain areas and more transparent in others.
- 10.6.4 The canopy will cast interesting shadows, adding a layer of fascination to the design.







11.0 Interfaces

11.0 INTERFACES

11.1 INTERFACES: VICTORY PARK WITH N18/19

- 11.1.1 The plan adjacent identifies the main junctions and cycling circulation.
- 11.1.2 The cycling strategy for Victory Park and Belvedere establishes different priorities for users depending on the location. An informal bicycle route connecting Celebration Avenue with The Portlands is retained and is unchanged. Although this connection does not have a demarcated bike lane, cyclists should be encouraged by the use of signage to slow down and cycle with caution.
- 11.1.3 Victory Park, including its perimeter (East Park Walk and West Park Walk), is designated as an area with pedestrian priority. To achieve that, the space has been redesigned to provide at least 5 metres of shared surface, but with new uses that will increase the density of pedestrians and activities, forcing the cyclists to slow down. Additionally, signage advising them to dismount should be considered.
- 11.1.4 The cycling strategy identifies the connection between Anthems Way and Celebration Avenue as a route with a demarcated cycling lane. Along this route are two important junctions, one comprising Plot N16, Celebration Avenue, and the southeast edge of Victory Park, and another one comprising Plots N18/19 and the southwest of Victory Park. The strategy for these junctions will be explained in detail on the following page.

LEGEND







-  Cycling lanes
-  Demarcated cycling route
-  Informal cycling routes
-  Shared surface with pedestrian priority
-  Important junctions
-  Cycle hire docking station



Figure 111. Illustrative diagram showing the main junctions and cycling routes

INTERFACES: VICTORY PARK WITH N18/19

11.15 The proposed solution comprises a demarcated cycling route. Segregation between pedestrians and cyclists was recommended by the BEAP as well as the preferred solution by the LLDC and the QRP. A series of successful solutions implemented elsewhere were studied to mitigate the possible conflicts between pedestrians and cyclists in the junction between N18/19 and Victory Park. As a result, the paving of the cycle lane will change colour and finish in the section comprising N18/19 and Victory Park. The pattern defining the junction will extend to the cycling route, signalling to the cyclists that they should slow down as they enter an area with pedestrian priority.



Rather than a traditional treatment, subtle paving changes demarcate the cycling route.



LEGEND




-  Demarcated Cycling Lane with a width of 2.5 meters
-  Junction between N18/19 and Victory Park
-  Change in colour and finish in the section comprising N18/19 and Victory Park



Figure 112. Illustrative plan showing interface with N18/N19 site

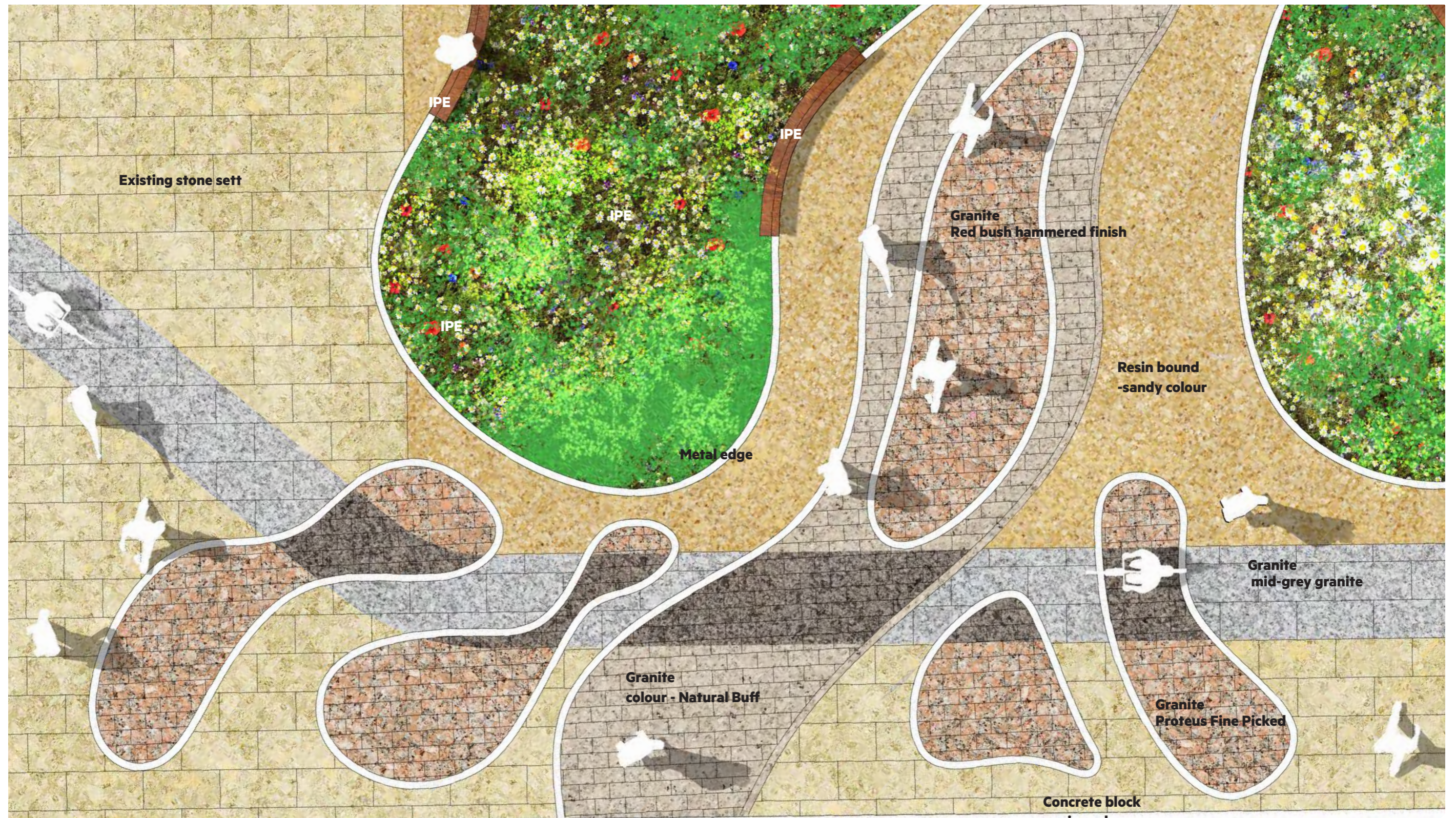


Figure 113. Enlargement plan of N18/19 - Victory Park

INTERFACES: VICTORY PARK WITH N18/19



INTERFACES: THE EDGE OF THE MOUND

11.1.6 The existing mound is reprofiled on the east side to create the new path to the Belvedere and allow for a clear and accessible route between the two spaces. A stepped retaining wall will retain the mound, as shown in the section below. The terraced landform will keep the green appearance of the mound and allow the users to utilise the space as a playful element or an amphitheatre.





12.0 Belvedere

12.0 BELVEDERE

12.1 CONTEXT AND CURRENT SITUATION

12.1.1 The Belvedere comprises an area of 0.62 ha and, in its current shape and form, includes a lawn area with play equipment. Originally, the design followed the same rationale as Victory Park, replicating a woodland character and a mounded topography. This was changed via a temporary intervention that flattened the mound and added new play equipment. Subsequently, a design proposal was presented to the LLDC, referred to in this document as the “consented scheme.” As part of the uplifting of the public realm, the Applicant appointed Grant Associates to provide a new design coordinated with Victory Park, delivering a cohesive and holistic approach

12.1.2 The design proposals for Belvedere respond to this new framework and context and have taken a different approach when compared with the consented scheme.

12.2 VISION: AN EVOCATIVE PLAY GARDEN

12.2.1 Belvedere’s vision is to create a modern English garden with a series of evocative ambiances. The composition of the landscape and the spatial configuration are deeply influenced by the microclimatic conditions of the site. Currently, the site is overexposed, and with no trees to mitigate this, the configuration of Belvedere is transformed, providing a welcoming and usable space. Instead of looking outwards, it looks inwards. The internal uses are framed by a green armature. Within the green framework, the LEAP is located in the east, with more sunlight during the afternoon, while the west, adjacent to Celebration Avenue, is reserved for gardens. The entrances to the gardens are through trellises with climbers.



Figure 114. Aerial View of Belvedere

12.3 CONSENTED SCHEME AND NEW PROPOSAL

12.3.1 The image shows the illustrative plan of Belvedere as consented. The new design proposal represents a departure from the previous design. The ambition for the redesign is to create a usable space with community uses and a distinctive layout. The nature of the spatial configuration is an important element. There was a risk of creating a transient space with a generic character. To tackle the mentioned challenges, the proposal would create a series of spaces that enclose spaces for play equipment, a smaller lawn, and raised beds for community gardening.

12.3.2 A swale captures and retains water from adjacent hard landscaping areas. The lawns are bordered by a mixture of perennial and wildflower planting areas.

12.3.3 Trellis arches with climbing plants mark main entrances, reinterpreting the traditional notion of a garden. The interior of Belvedere will be a world of wonders where activities such as urban farming, flowering plants, play areas, and resting areas meet, holding the space together with a sense of closeness.

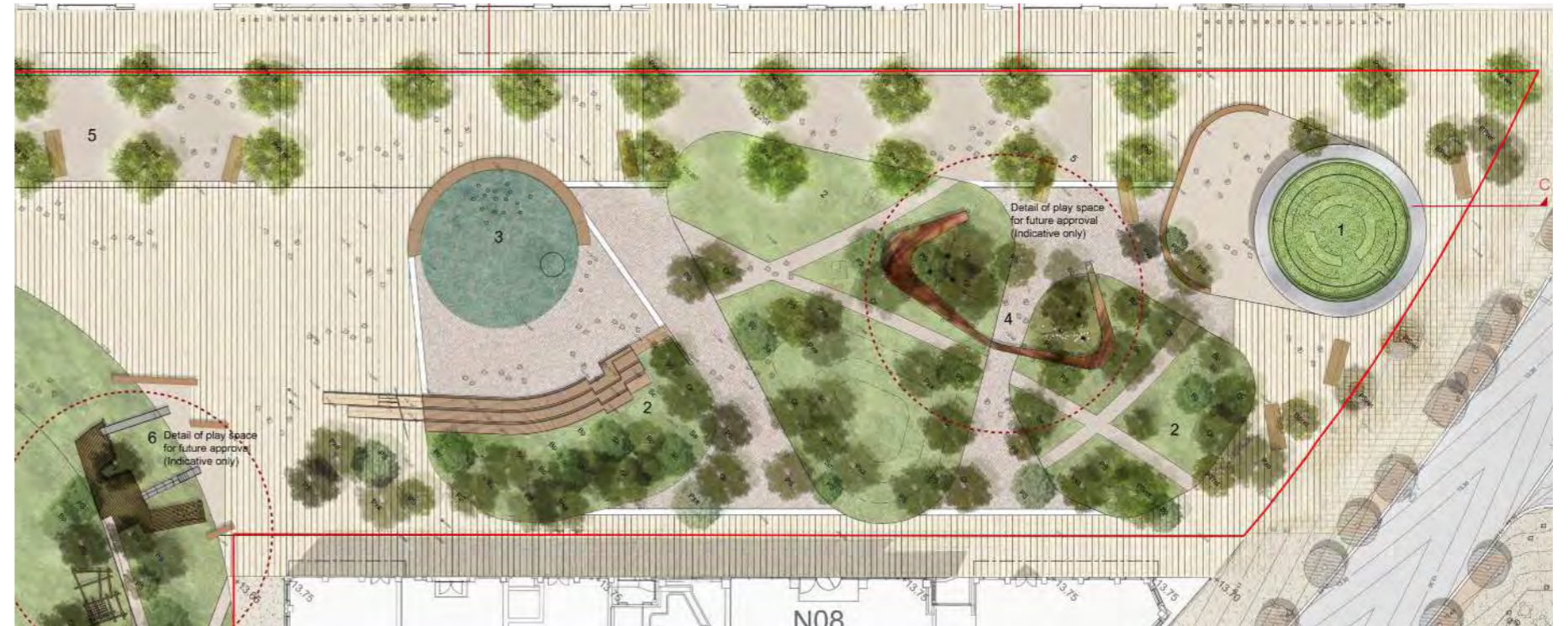


Figure 115. Illustrative plan of the consented landscape scheme for the Belvedere area

LEGEND

- 1 New play features
- 2 Community gardens
- 3 Seating areas
- 4 Trellis frames at entrances and key focal points
- 5 Swales
- 6 Lawn
- 7 Wildflower meadow

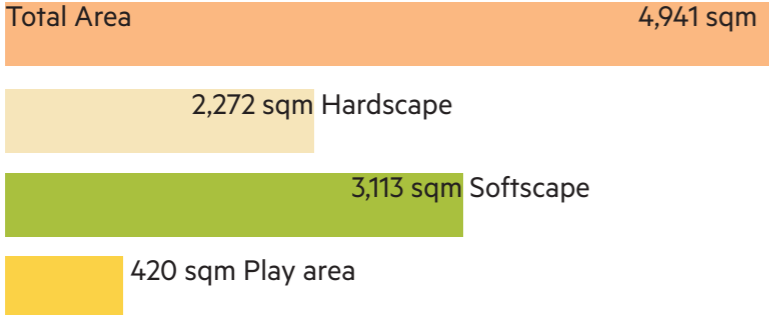


Figure 116. Illustrative plan of the latest proposals for the Belvedere area

12.4 COMPARISON BETWEEN PROPOSED SCHEME AND CONSENTED

12.4.1 The proposed design performs better than the consented scheme in terms of the area dedicated to greenery, which is three times bigger. Additionally, the planting mix will include wildflowers and perennials, increasing its ecological and biodiversity value. The play area is located at the lower end of Belvedere with clear sight lines to the Community Hub, the Pavilion, and public toilets.

Proposed Design



Consented Scheme

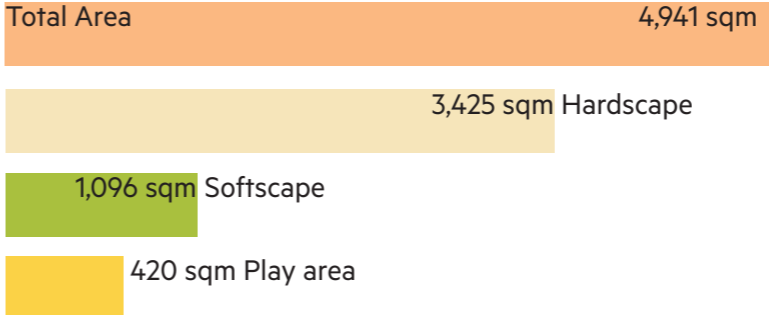
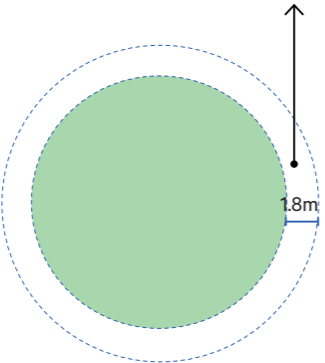


Figure 117. Diagrams comparing the proposed and consented landscape designs

12.5 SPATIAL CONFIGURATION AND ROUTES

12.5.1 The layout arrangement allows for more permeability and accessibility of the space. There are two main routes bisecting the design, one in the northeast connecting with Celebration Avenue and another in the southeast connecting with Victory Park. Additionally, Belvedere is accessed through smaller feeder entrances on the sides with strategically located connections leading to the interior. Once within the scheme, the routes are legible but have a playful dynamic, following the circular patterning and allowing for an inclusive experience. The seating is placed in a semi-circular composition, allowing the carers to look after the individuals playing in or using the community gardens.

Min. Accessible and inclusive design



LEGEND

- Principal access routes
- Secondary routes
- Building entrances
- Seating -LEAP-
- Seating -Community garden-



Figure 118. Illustrative diagram of the Belvedere area

12.6 PLAY EXPERIENCE

12.6.1 The play equipment is targeted at kids from 4 up to 10 years old. The disposition of the play areas is circular, with benches in a semi-circular arrangement, facilitating the oversight by the parents. The pieces of equipment will be inclusive and varied. An area of lawn is also provided for more informal play. Locating the play space at the southern end of Belvedere offers a clear view of the Pavilion and the toilets, which are only 100 metres away and take less than 2 minutes to reach.

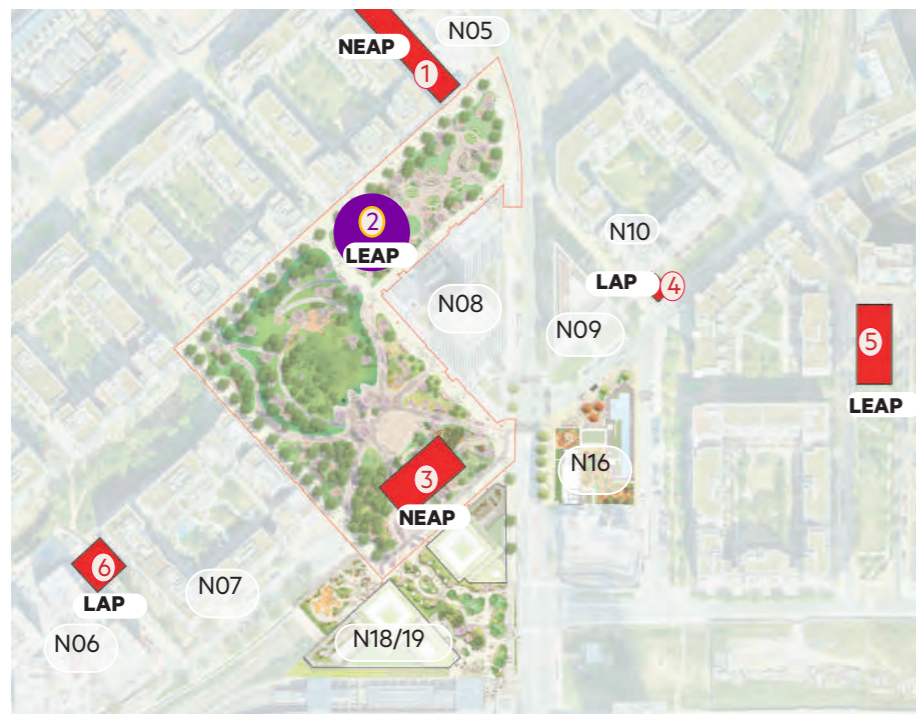


Figure 119. Illustrative diagram of the resulting play space locations in East Village

LEGEND

- | | | |
|---|---|--------------------------------------|
| 1. N05 NEAP |  | Bird nest swing / springers +4 years |
| 2. Belvedere LEAP  |  | Spinners and carousels +6 years |
| 3. Victory Park NEAP |  | Jungle dome +6 years |
| 4. Existing LAP |  | Play equipment safety zone |
| 5. Stratford Green LEAP |  | Lawn play area |
| 6. Ravens Walk LAP | | |



Figure 120. Illustrative diagram showing the proposed playspace provision

12.7 LEAP PLAY EQUIPMENT

12.7.1 The new design for Belvedere develops within the new green armature framing the area. Within it, there are a series of play elements located in a circular arrangement. The configuration allows the carers to look after the children while the immersive greenery with new trees and access through trellises in the form of arches with climbers gives the space a special sensorial atmosphere. In terms of play, the LEAP comprises 460 square metres. The play's elements have been carefully considered to offer variety, avoiding repetition of elements already provided or planned in other areas. Along with various forms of informal play and an amenity lawn, the following is proposed:

- Spinning Ring
- Bug Seesaw
- Ant Springer
- Jungle Dome
- Rope Nest Seat

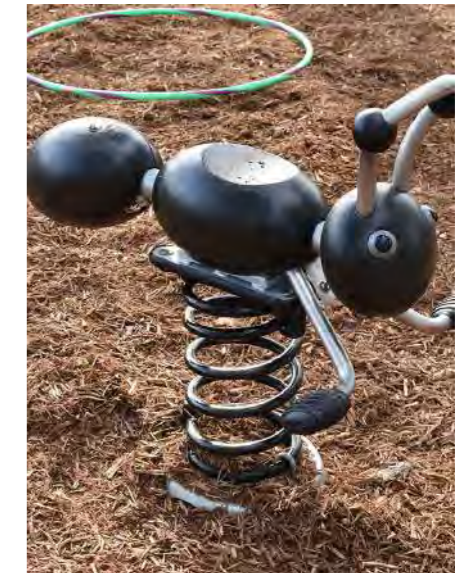
12.7.2 Within the LEAP play area, equipment has been selected to encourage social play, development, and growth. The equipment is set within a planted environment with playful coloured surfacing.



Spinning Ring



Capella Outdoor Music Play



Ant Springer



Jungle Dome



Rope Nest Seat






- LEGEND**
-  Spinning ring
 -  Capella Outdoor Music Play
 -  Ant Springer
 -  Jungle Dome
 -  Rope Nest Seat



Figure 121. Diagram showing location of LEAP play equipment



12.8 BELVEDERE SECTION

12.8.1 The section below shows a level change of 1.5 m across the site. The level change is absorbed within the landscape without the need for additional mitigation. The spatial configuration in the sections comprises Victory Parade with additional areas closer to the planting for F&B. The playground is situated within the Belvedere. A 6-metre walkway adjacent to N08 is provided.

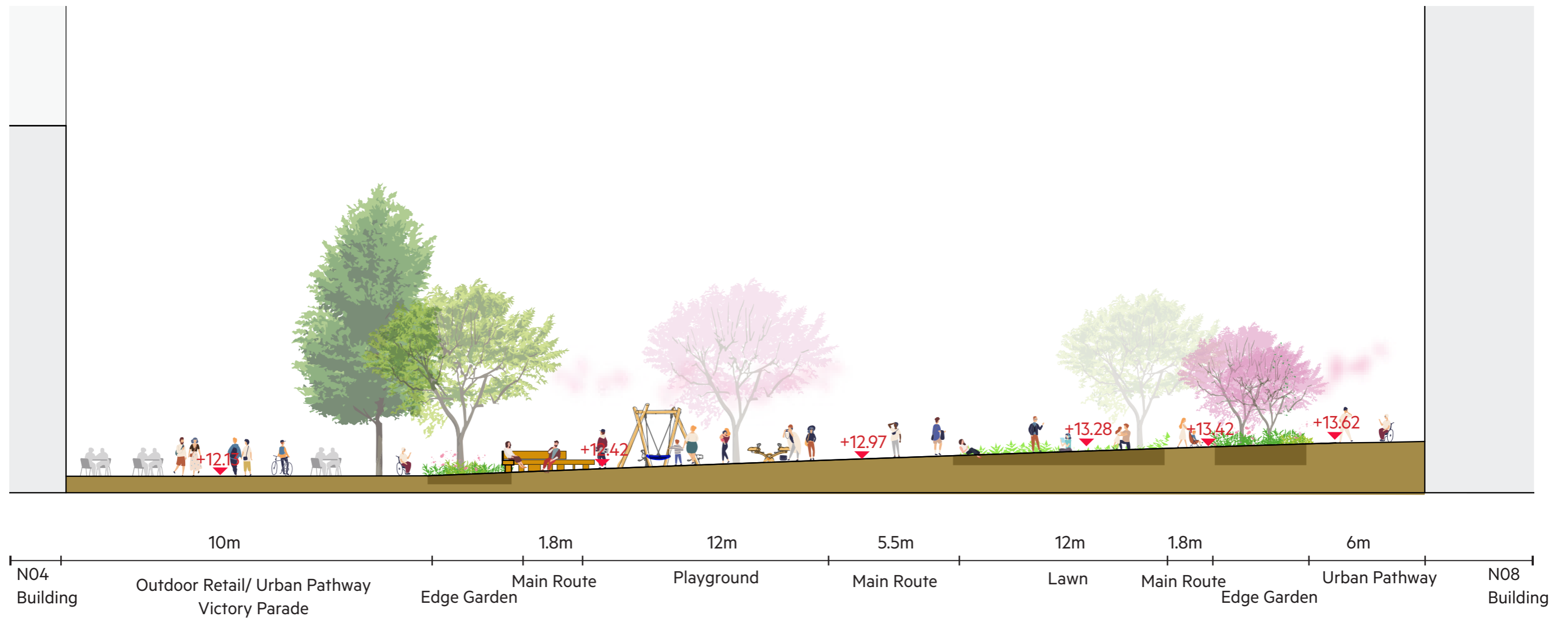


Figure 122. Illustrative section through the Belvedere area

12.9 COMMUNITY GARDEN

12.9.1 The community gardens create an organic pattern, making use of the circular motif. The planters are raised 500 mm to facilitate their use by disabled individuals. The gardens comprise two modules, a larger one (B) with a radius of 6000 mm and a smaller one (A) of 4500 mm. Both can be experienced from the perimeter and via an internal path. The paths have a minimum width of 1.8m.

12.9.2 The modules would preferably be made from willow, providing a natural and appealing aesthetic. These have been used recently in the Superbloom at the Tower of London. They provide durability but also an easy replacement if needed.


Module A radius 4500mm



Module B 6000mm



LEGEND

 Community garden

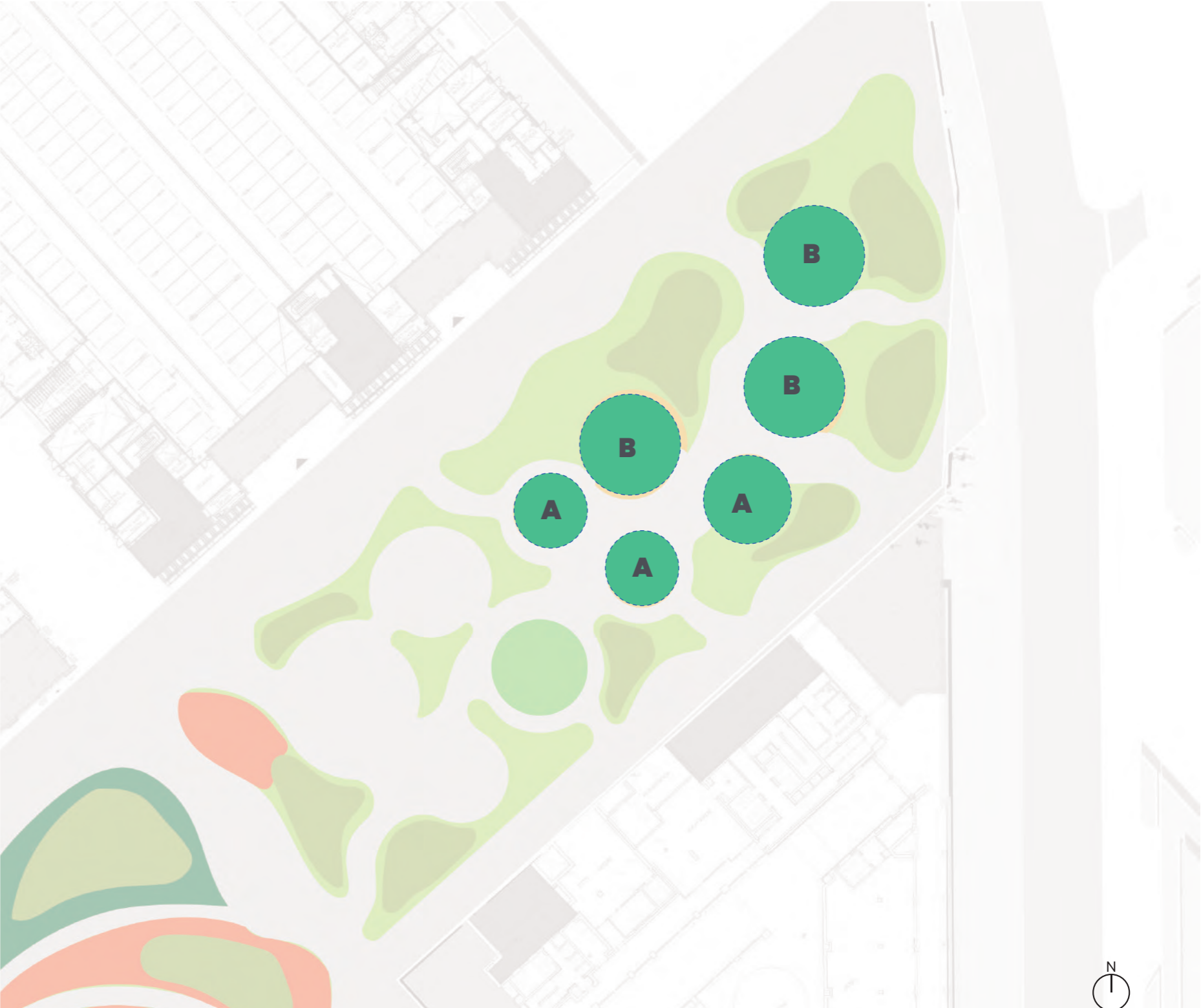


Figure 123. Illustrative diagram showing the location of the proposed community gardens

SECTION: COMMUNITY GARDEN

12.9.3 This section illustrates a cut through the community gardens. The circular form of the gardens has been carefully considered to maximise the accessible area around the planted beds for gardening. A path cuts through the circles to increase accessibility to the centre. The planters are also raised 500 mm, making them accessible to all. Raised planters can have different functions; they could be used to grow perennials, flowers, or edible plants.



Figure 125. Illustrative view of the community garden

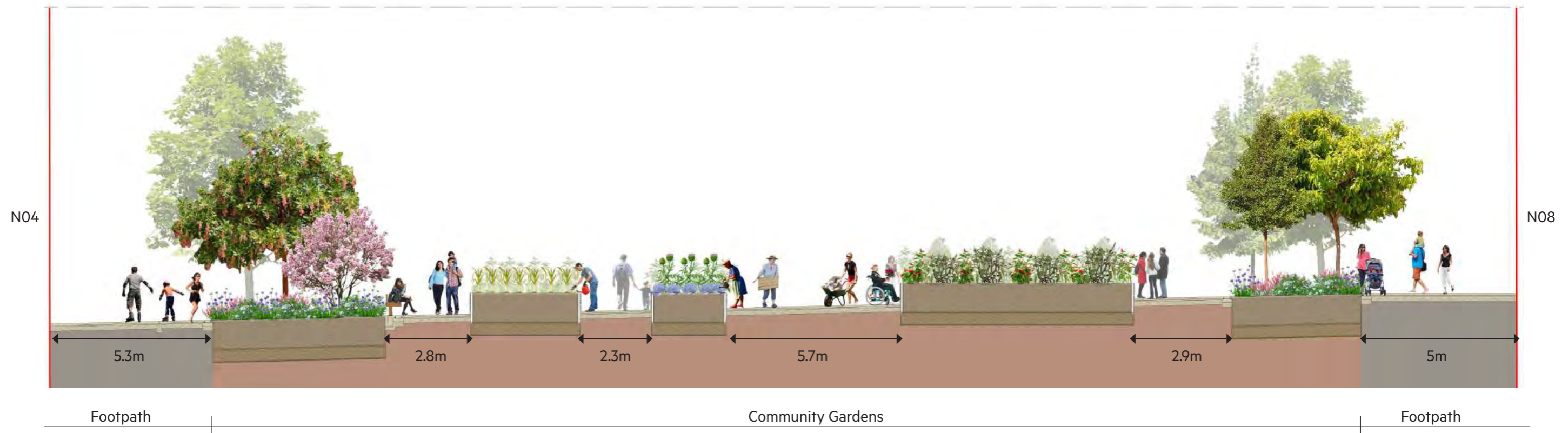
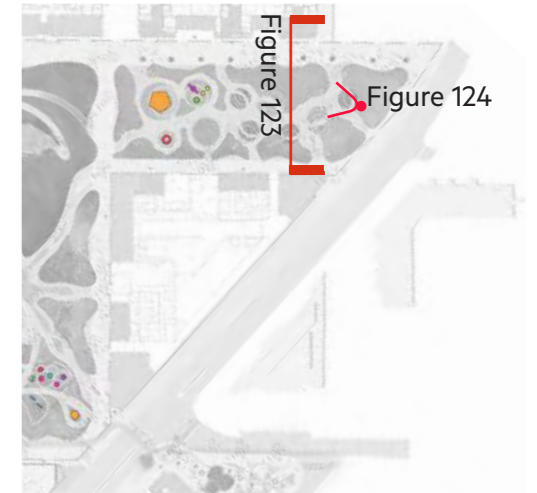


Figure 124. Illustrative section through the Belvedere area



Figure 126. Illustrative view of the Belvedere community gardens

13.0 Hardscape Strategy

13.0 HARDSCAPE STRATEGY

13.1 HARD LANDSCAPE STRATEGY

- 13.1.1 The aim of the hardscape strategy is to create a sense of unity through a common palette of high-quality, durable materials and street furniture. The careful selection and use of all materials are essential to the success of the scheme and to reinforcing a sense of place. A limited palette of paving and edge/seating materials is proposed to define a legible public realm and help stitch individual spaces and routes together.
- 13.1.2 The paving will provide warm and tactile colours and tones. The intention is to use natural stone (granite or similar) for the paving and seating/edging.
- 13.1.3 Material selection is also based on its durability, associated maintenance, visual appearance (particularly in respect of its reflective qualities), and integration with surface water drainage and proposed vehicular access (emergency and maintenance).
- 13.1.4 The materials should stand up to heavy daily use and be able to withstand the test of time and age gracefully. This will provide a solid landscape of quality and longevity with a manageable cleaning and replacement regime.
- 13.1.5 The landscape materials will provide richness in texture and pattern and will be designed to provide a pedestrian-friendly environment. Subtle variations in the paving mix, such as colour, texture, and size, will aid in spatial hierarchy differentiation. The proposal is a mix of sizes to reflect the intended uses and character of the site.
- 13.1.6 All surfacing will be designed for ease of access, and the detailing will respond to guidance and requirements set out within the Building Regulations and the Disability and Equality Act 2010 as appropriate. The tactile paving will be specified to match the paving materials it generally sits adjacent to. Where appropriate, material or colour may be selected where contrast is required or desired (e.g., steps, change of level, etc.). Sustainable sources will be a key factor in material specification and will include certification of sources, e.g., timber, natural stone, etc.

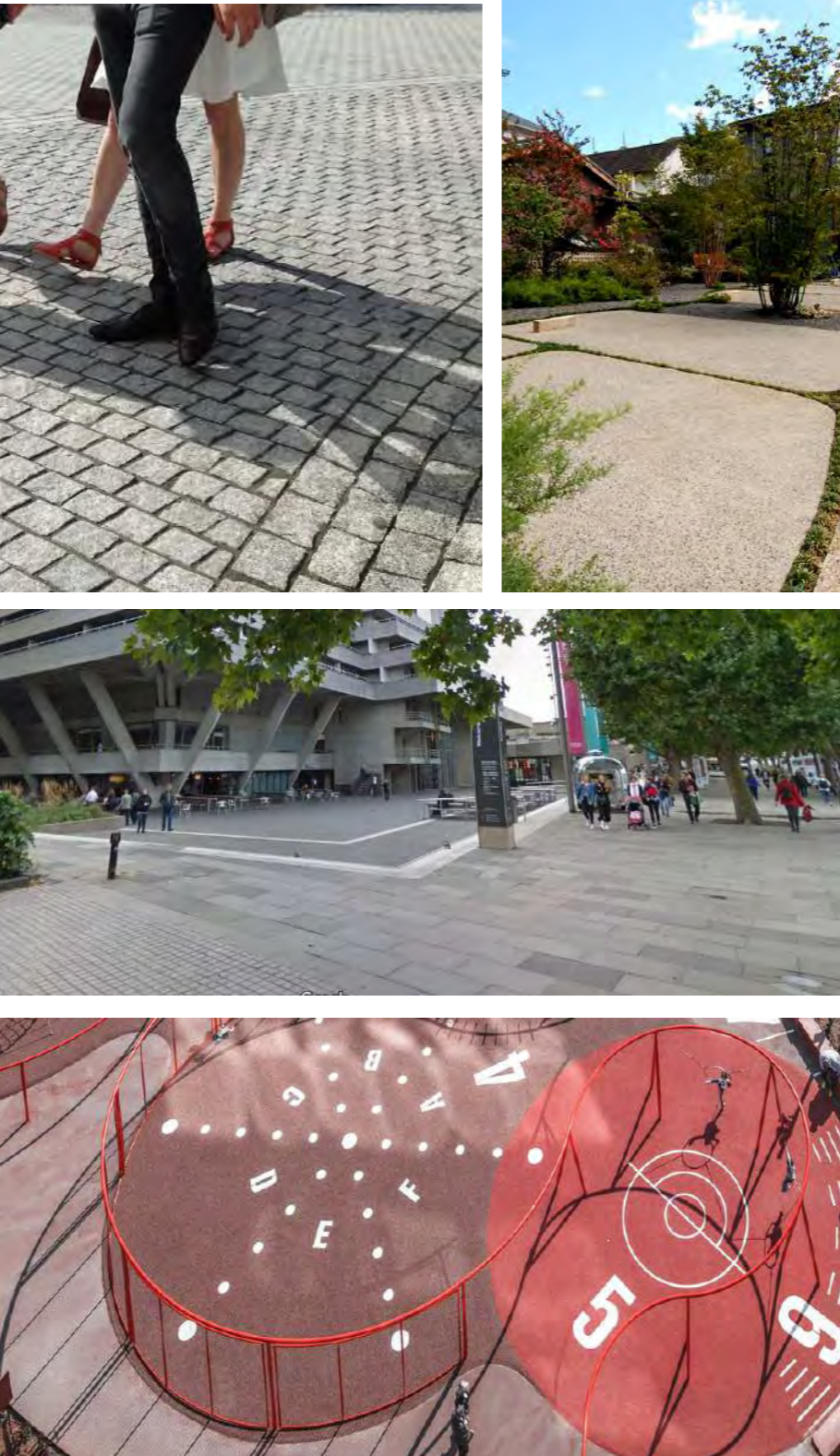


Figure 127. Illustrative example of proposed paving palette



Figure 128. Use of patterns in Ludgate, London

13.2 MATERIALS

13.2.1 The following materials are proposed as the primary hard landscaping materials

- Existing Natural Stone pavers;
- Natural Stone - shared area;
- Natural Stone - Key areas;
- Resin bound gravel;
- Rubber crumb safety surface.

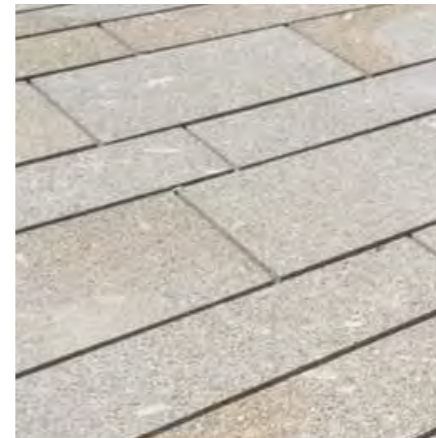
Total hardscape 12,546 sqm

6,513 sqm Existing paving stone

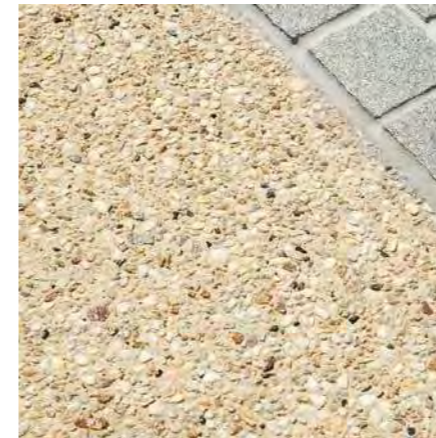
4,500 sqm Resin Bound gravel

743 sqm Natural stone setts

671 sqm Rubber crumb



Existing natural stone pavers



Resin bound gravel



Natural stone (Key junctions)



Natural stone (Key areas)



Rubber crumb (Play areas and safety zones)



Figure 129. Illustrative Plan showing location of proposed materials

13.3 MATERIALS PRECEDENTS

13.3.1 The following pages show a number of UK precedents where patterned and coloured paving have been used to create interest and aid wayfinding.



Mathematical Institute, Oxford, UK



London South Bank University, London, UK



International Quarter, London, UK



Eberle Street, Liverpool, UK




Lincoln Square, London, UK



Science Central, Newcastle, UK

13.4 MAIN ROUTES

13.4.1 Natural stone is proposed to be used on the main routes. These organically shaped islands highlight the resting spaces and lead all visitors to the Community Plaza.

 Natural stone setts

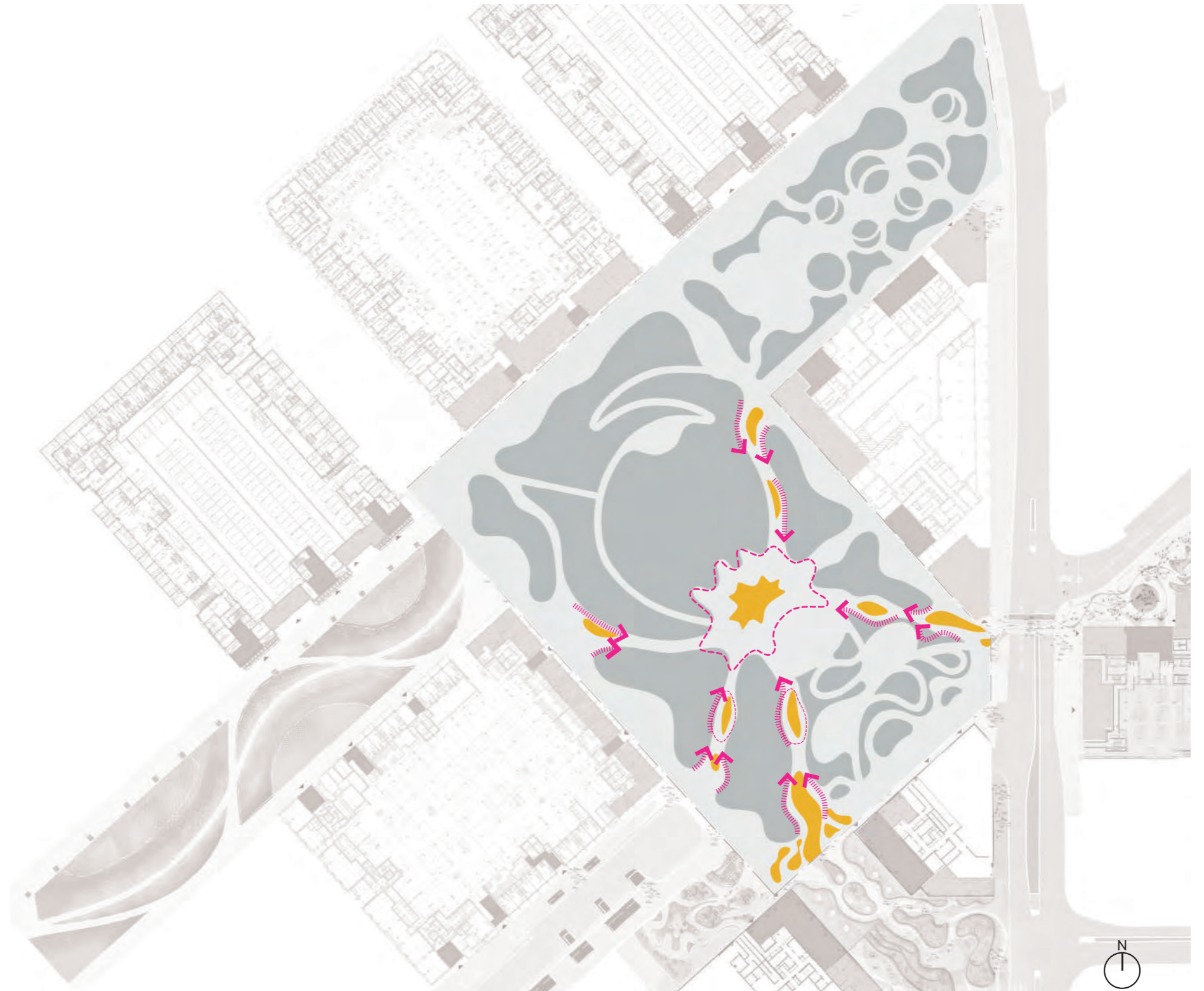
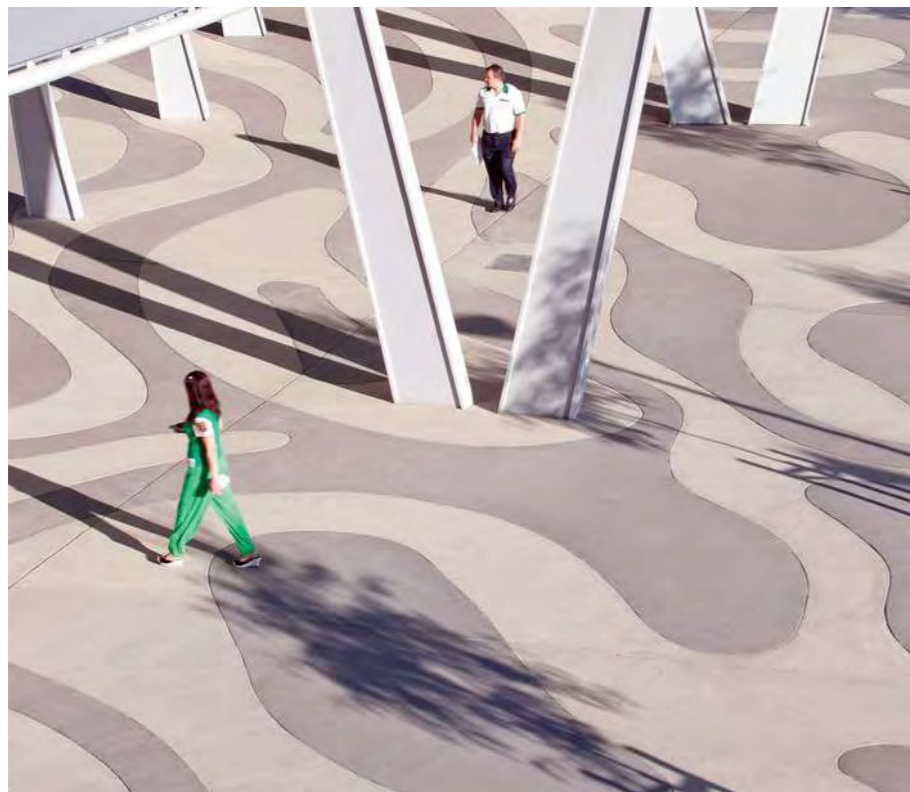


Figure 130. Illustrative view of proposed paving pattern

13.5 HARDSCAPE MATERIALS

13.5.1 Four paving types have been selected to create a patterned surface for the Community Plaza and the path network within Victory Park. The selection comprises:

- Concrete block paving - Sandy Buff;
- Concrete block paving - Natural Buff;
- Granite - Red bush hammered finish;
- Granite - Light Pink flamed finish.

13.5.2 The paving finishes are edged by both metal edging and concrete block paving.

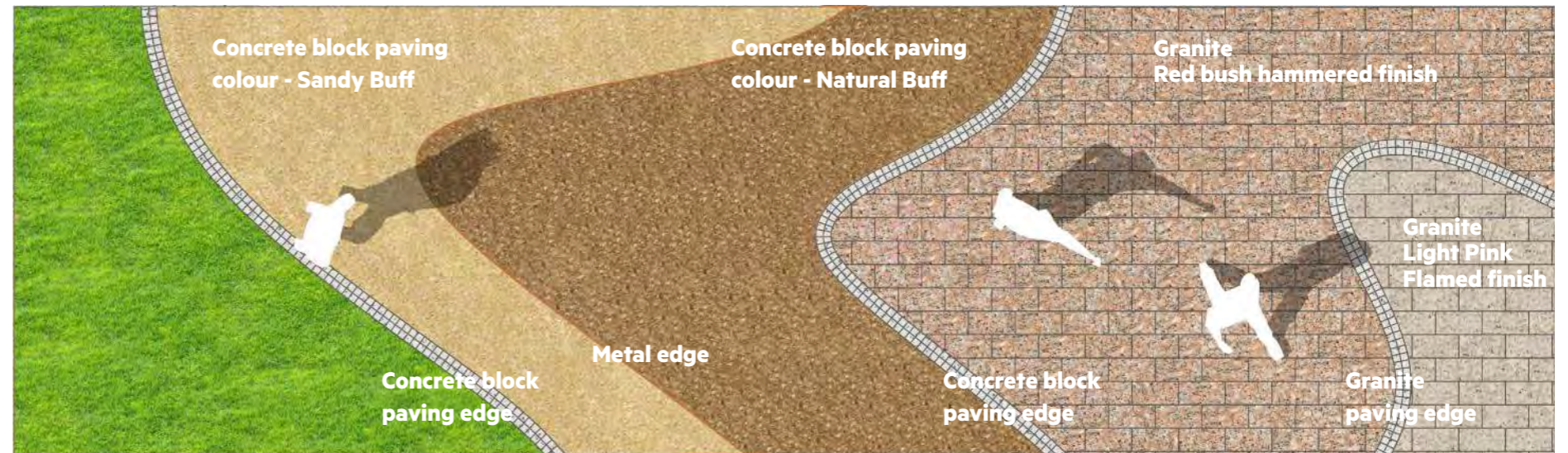


Figure 131. Illustrative Plan showing location of proposed materials

13.6 NEAP PLAY MATERIALS

13.6.1 The following materials are proposed within the NEAP play area.

13.6.2 Surfacing:

- Concrete block paving - Sandy Buff;
- EPDM - Sun;
- EPDM - Yellow;
- EPDM - Orange.

13.6.3 Edging:

- Metal Edging;
- Concrete block paving edge.

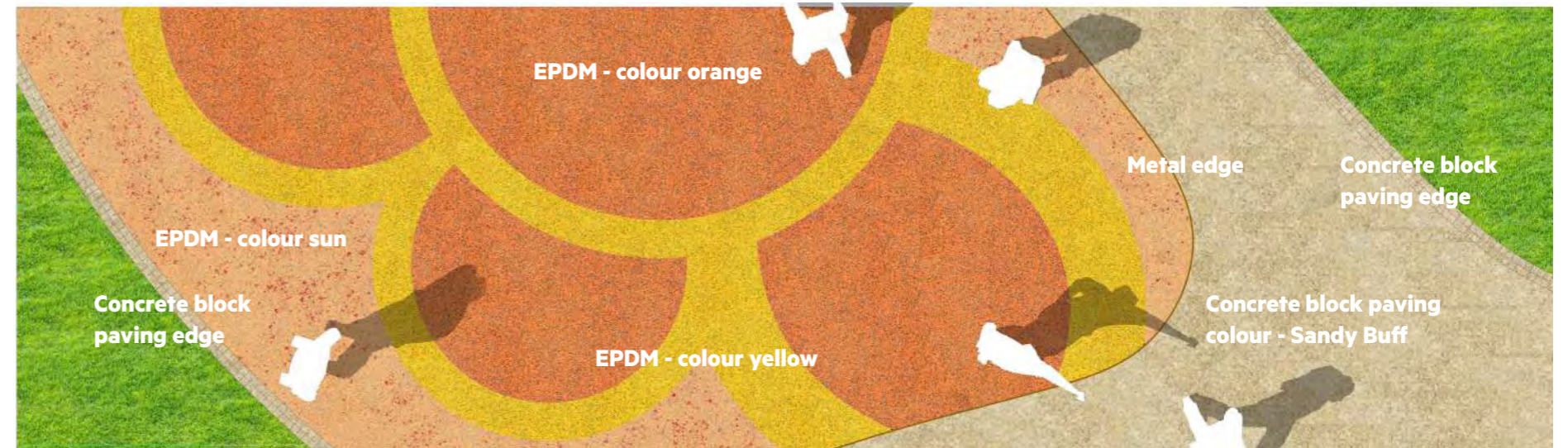


Figure 132. Illustrative view of NEAP play area



Figure 133. Illustrative Plan showing location of proposed materials within the NEAP play area

13.7 LEAP PLAY MATERIALS

13.7.1 The following materials are proposed within the LEAP play area

13.7.2 Surfacing:

- Resin bound gravel - 3mm;
- EPDM - Rose Red;
- EPDM - Purple;
- EPDM - Pink.

13.7.3 Edging:

- Metal edging;
- Concrete block edge paving.

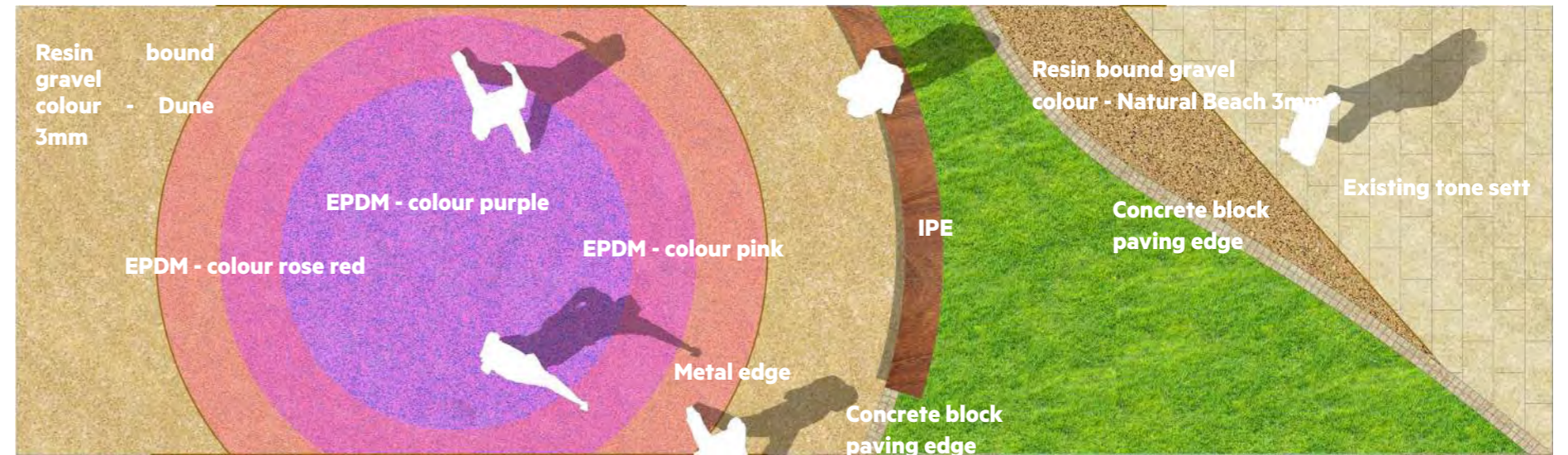


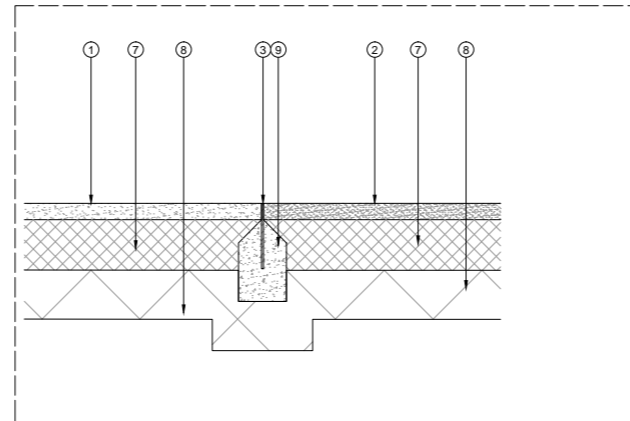
Figure 135. Illustrative view of LEAP play area



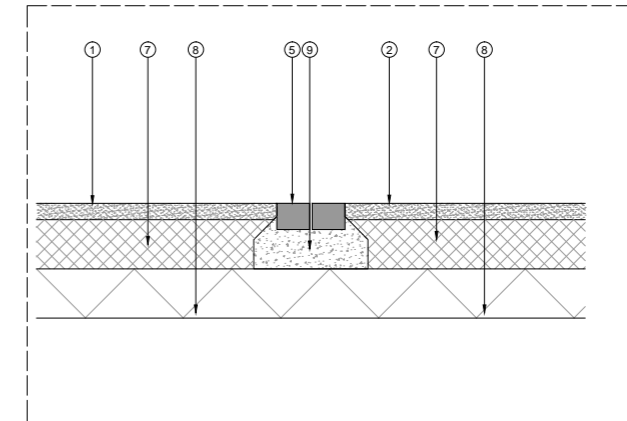
Figure 134. Illustrative Plan showing location of proposed materials within the LEAP play area

13.8 EDGE TREATMENT

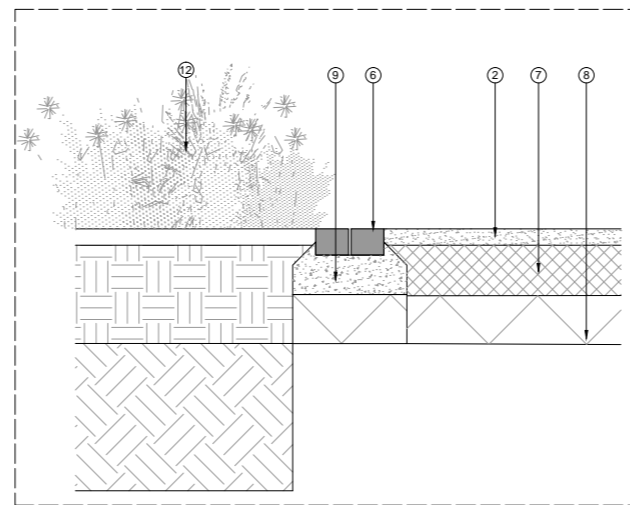
13.8.1 Metal edging and concrete block paving are used to edge the paths and material interfaces. The various interface options are illustrated on this page.



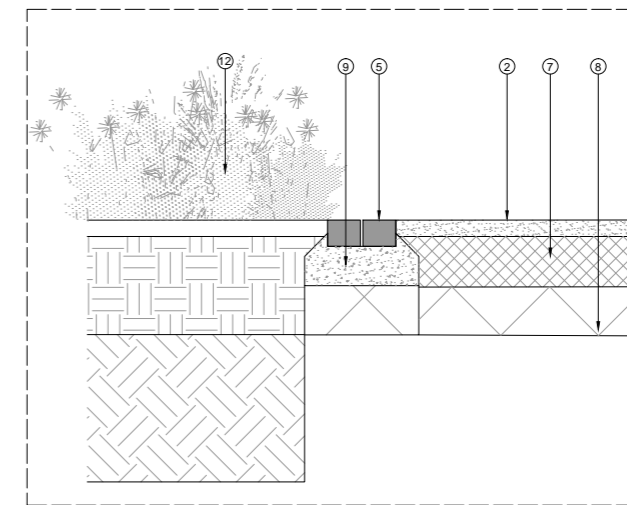
1 K2 Edge Detail Option 1 - Flush Steel Edge Typical Detail
scale 1:10 @A1



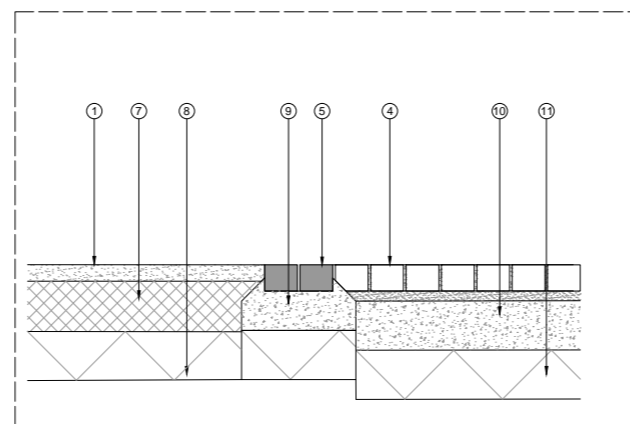
2 K2 Edge Detail Option 2 - Flush Natural Stone Setts Edge Typical Detail
scale 1:10 @A1



3 K1 Edge Detail Planting to Paving Option 1 - Flush Precast Concrete Setts Edge Typical Detail
scale 1:10 @A1



4 K1 Edge Detail Planting to Paving Option 2 - Flush Natural Stone Setts Edge Typical Detail
scale 1:10 @A1



5 K1 Edge Detail, Resin bound to Natural Stone setts paving
scale 1:10 @A1 Flush Natural Stone Setts Edge Typical Detail

- 1. Resin bound gravel color Type 1
- 2. Resin bound gravel color Type 2
- 3. 6mm thick flush steel edge to paving and paving (200 mm depth)
- 4. Natural Stone Cropped Granite Setts paving (100l. x 100w. x 100h.mm)
Colour silver grey, medium grey, dark grey
- 5. Natural Stone Cropped Granite Setts to form a continuous flush edge (100l. x 100w. x 100h.mm)
Colour silver grey
- 6. Precast Concrete block Silver grey setts to form a continuous flush edge (100l. x 100w. x 100h.mm)
Colour silver grey
- 7. Compacted Base to Engineer's specifications.
- 8. Compacted Sub-Base to Engineer's specifications.
- 9. Concrete hunching to Engineer's specifications.
- 10. Mortar bed and jointing to Engineer's specifications.
- 11. Concrete Base to Engineer's specifications.
- 12. Shrub planting to rain garden inclusive of gravel mulch layer, imported topsoil, subsoil, drainage and root barrier when necessary

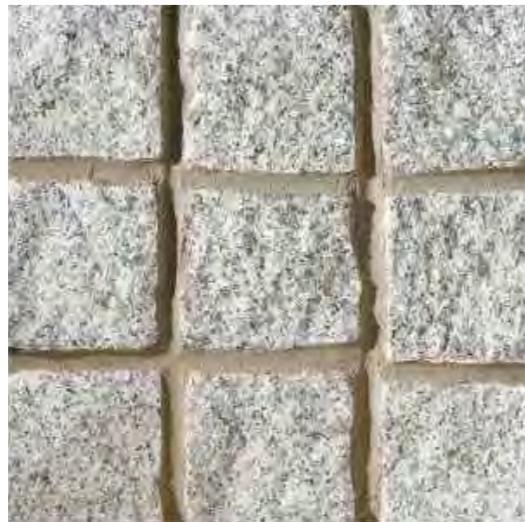
LEGEND

— Concrete bock kerbs

— Metal edge



Flush Steel Edge



Flush Natural Stone Setts Edge



Flush Precast Concrete Setts



Figure 136. Diagram illustrating location of edge treatments



14.0 Furniture Strategy

14.0 FURNITURE STRATEGY

14.1 FURNITURE STRATEGY

- 14.1.1 Street furniture plays a very important role in defining the character of the space and should be fully integrated into the public realm proposals. To help reinforce the identity and distinctiveness of the development, a family of high-quality street furniture is proposed. The intention is that all the street furniture specified will be solid, simple, robust, and beautifully crafted using the most appropriate materials. The selection and location of street furniture will need to take into account the need to discourage and be robust enough to stand up to potential anti-social behaviour and/or rough sleeping.
- 14.1.2 The design and materials will be appropriate for the function and context. Sustainability will be an underlining principle in all material selection and/or street furniture selection, with the aim of maximising the recycled content of each item.
- 14.1.3 The proposals include timber seating at various locations around Victory Park. Other seating opportunities are proposed along the Belvedere. Seating will include suitable back and arm rests. Other street furniture will be limited to cycle stands, which will be of a simple “Sheffield” style or similar.
- 14.1.4 The provision of CCTV cameras within the public realm will be considered part of the family of street furniture with respect to fitting in with the overall appearance and range of furniture.
- 14.1.5 Layouts of camera positions will be coordinated with the building to minimise any additional furniture in the public realm.



Figure 137. Examples of long timber seating

14.1.6 Figure 138 indicates the position of the different elements comprising the urban furniture strategy in the public realm.






- LEGEND**
-  Timber seating edge
 -  Concrete block steps
 -  Proposed cycle stands (72 total)
 -  Pebble shape seating
 -  Wayfinding



Figure 138. Examples of cycle stand and bollard for illustrative purposes

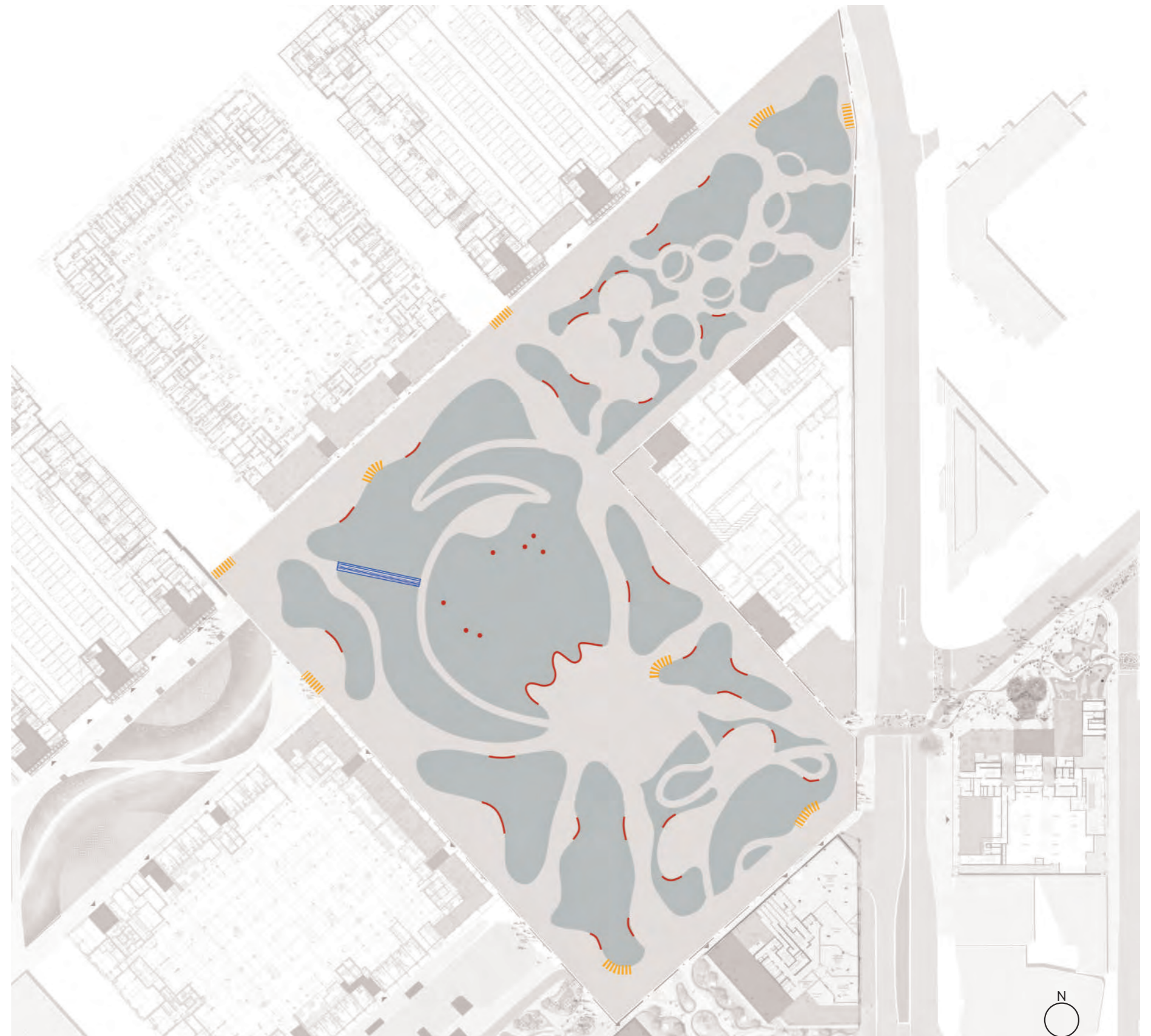
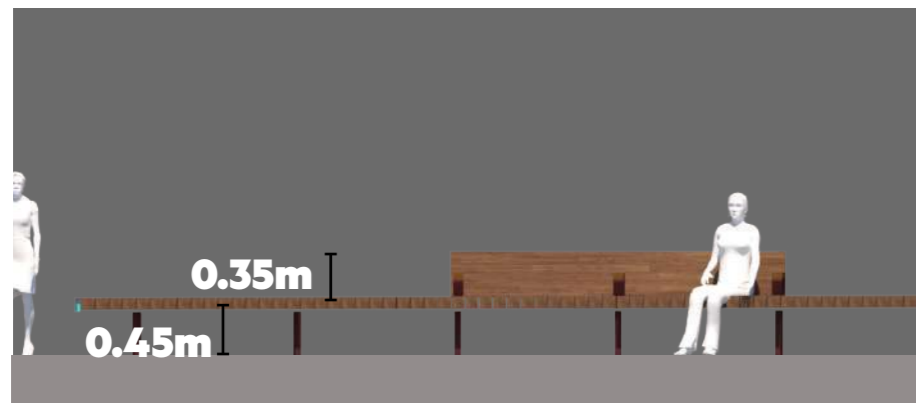
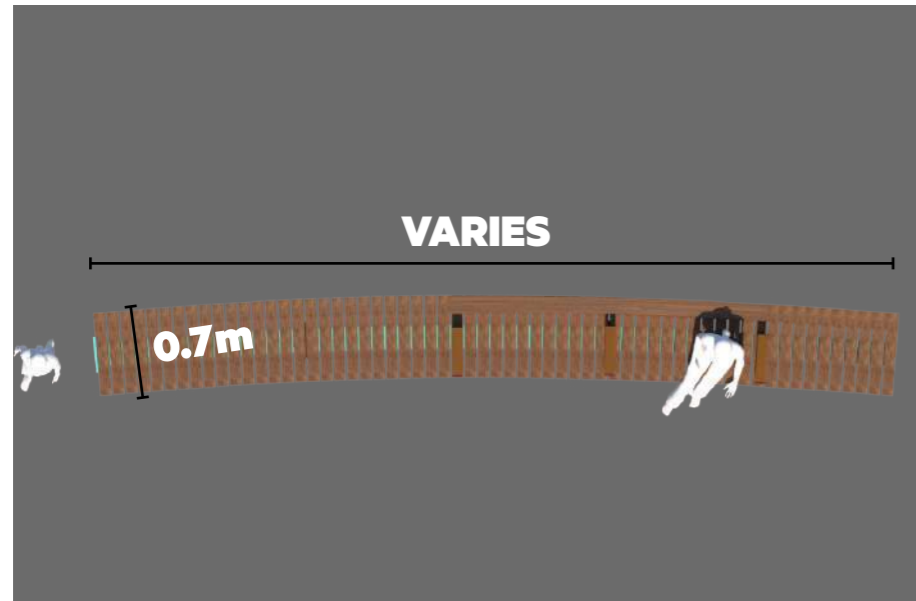
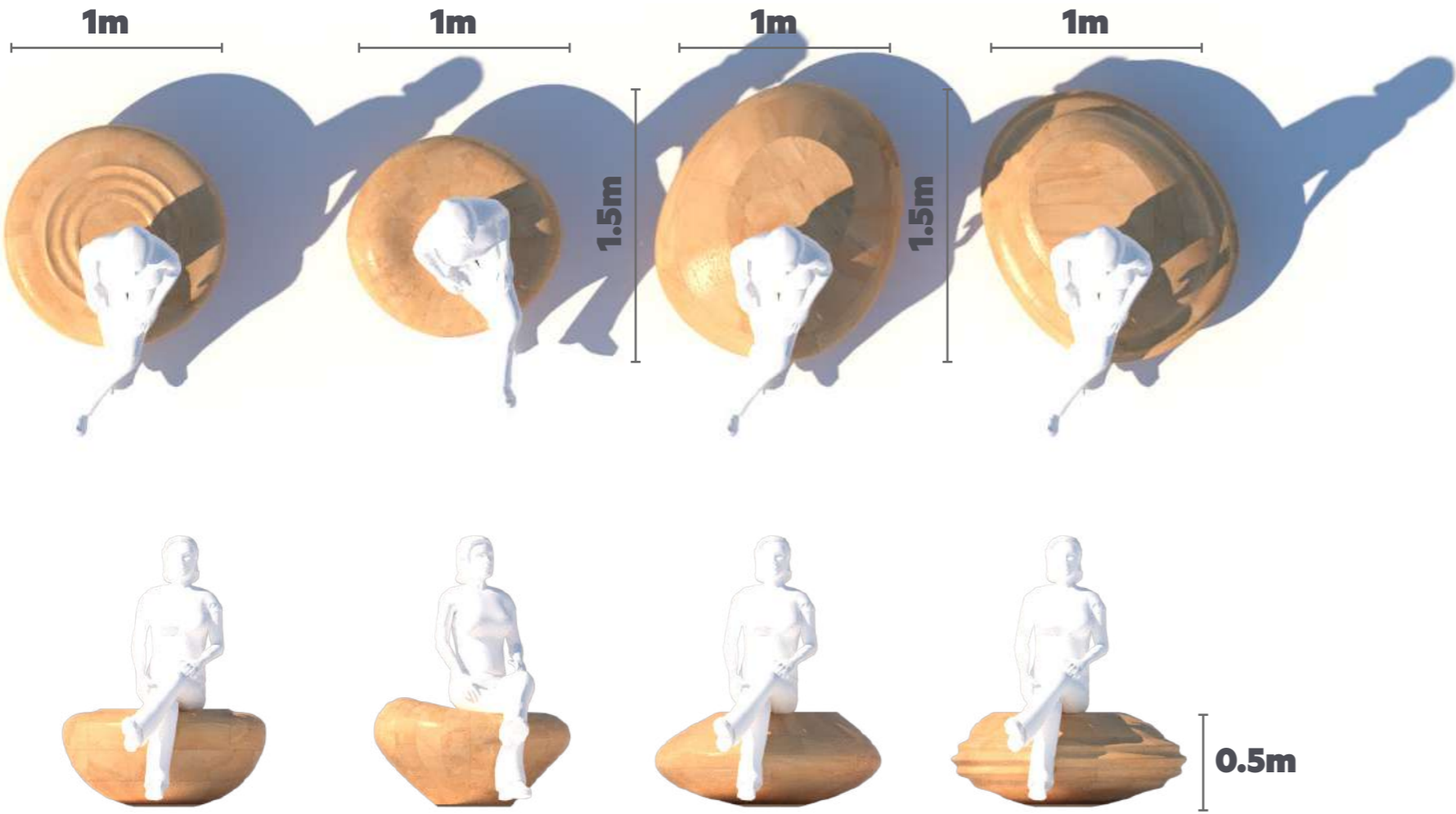


Figure 139. Diagram illustrating location of proposed street furniture

14.1.7 Long, multi-legged benches are proposed to provide ample resting space. 50% of the benches have a backrest and armrests to meet the requirements of the LLDC's inclusive design guidelines. Please see the Access Statement in support of this planning application prepared by Earncliffe Making Access Work for further details.



14.1.8 Pebble-shaped seating is arranged on the open-terrain lawn space as resting and playing devices.





15.0 Lighting Strategy

15.0 LIGHTING STRATEGY

15.1 LIGHTING STRATEGY

15.1.1 The following section summarises the design intent of the lighting proposals. Please refer to the lighting report for further technical details.

15.1.2 The intention is that existing fixtures will be retained where possible, although fixtures will need to be removed where landform changes are proposed. A limited palette of discreet contemporary fixtures and fittings is proposed to be used throughout the development. Lighting should complement the space and encourage the use of public spaces where appropriate.

15.1.3 Personal security is a key concern, and all routes and gateways will be lit to a level that provides adequate visibility. Pedestrian safety and security will be carefully considered with regard to circulation around the site at various times of the day and year.

15.1.4 The intention is to create engaging spaces that encourage people to connect with each other and the community while being sensitive to wildlife and habitats. The design should prevent light pollution and be considerate of habitat areas within the park.

15.1.5 Functional lighting will improve pedestrian wayfinding at night. Path lighting will include concealed fixtures amongst planting and edging, columns, as well as in-ground fixtures. Lighting also has a key role in wayfinding and creating a visual hierarchy for better orientation. The lighting intensity will be controlled to provide less coverage through the less active parts of the park.

15.1.6 The canopy provides the opportunity to create a focal point to be celebrated at night. The canopy will glow with light to highlight its structure and form, also helping with wayfinding through the park at night.

15.1.7 Special lighting is proposed to highlight feature trees at strategic locations around the Community Hub and events space.



Figure 140. Precedents illustrating the intended external lighting mood and character are envisaged

15.1.8 Figure 140 illustrates the lighting intent. The scheme seeks to offer a functional yet inspiring lighting scheme. a mix of lighting features designed to meet the required lux levels, to provide a safe environment, but also to be evocative with moments of fascination, such as the lighting in the canopy.

LEGEND






-  Canopy Flood Light
-  Light Column
-  Light bollards
-  Tree Uplight
-  Light Column 2



Figure 141. Diagram showing location of proposed lighting strategy

15.2 LIGHTING TYPOLOGIES

15.1.9 Light Column precedents



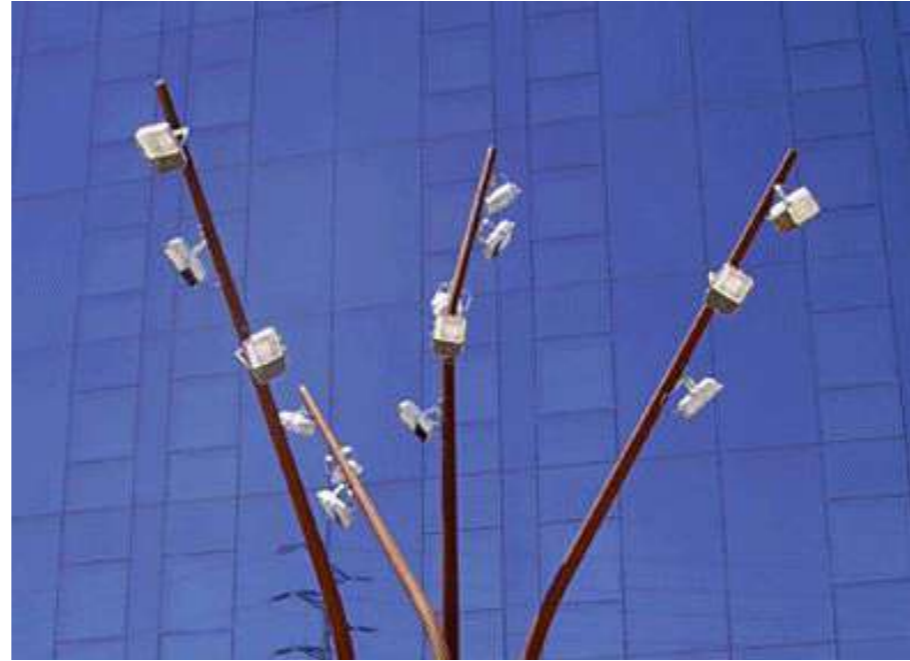
15.1.10 Light Bollard precedents



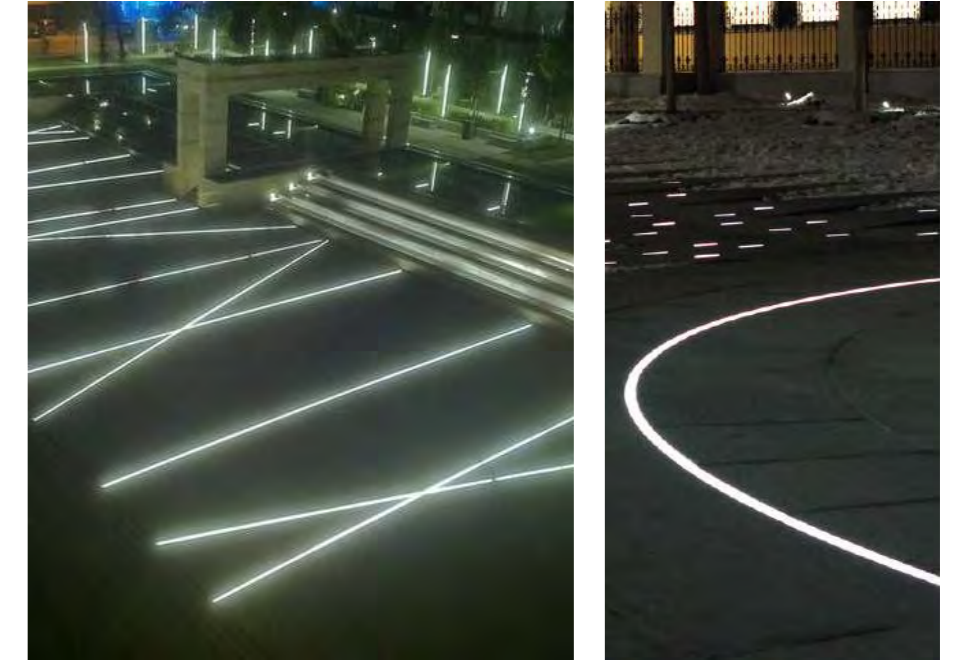
15.2.3 Canopy Flood light



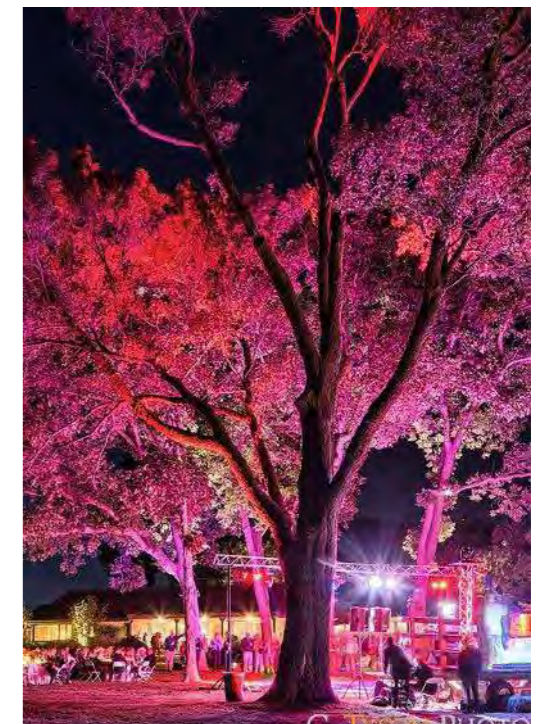
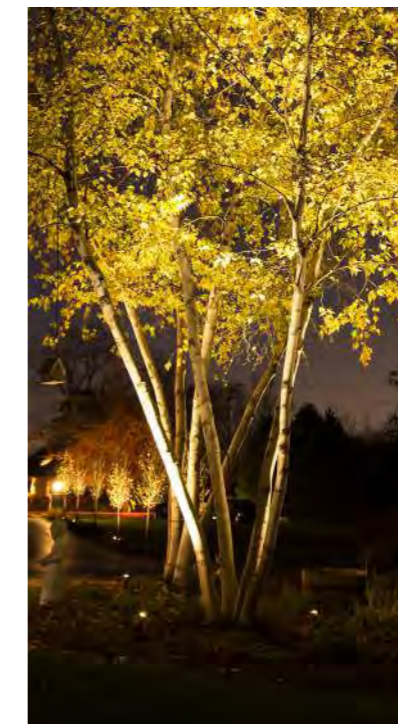
15.2.4 Flood light precedents



15.2.1 Flash in ground LED Light



15.2.2 Tree Up Light



15.2.5 Figure 141 indicates the lighting features as proposed by the lighting consultant. See the Lighting Report for further details.





- LEGEND**
-  POLE TOP LUMINAIRES
 -  BOLLARD
 -  IN GROUND UPLIGHT
 -  CCTV



Figure 142. Diagram showing lighting location in Victory Park

15.2.6 Figure 143 indicates the lighting features as proposed by the lighting consultant. See the Lighting Report for further details.

LEGEND

- POLE TOP LUMINAIRE
- BOLLARD
- ▲ INGROUND UPLIGHT
- CCTV

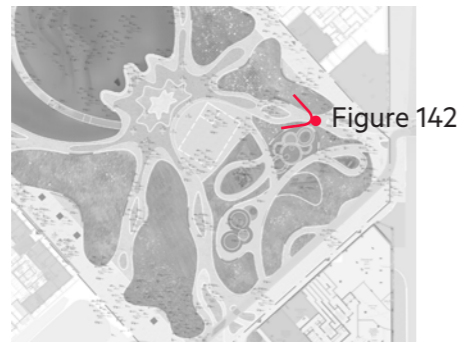


Figure 143. Illustrative view showing the lighting strategy

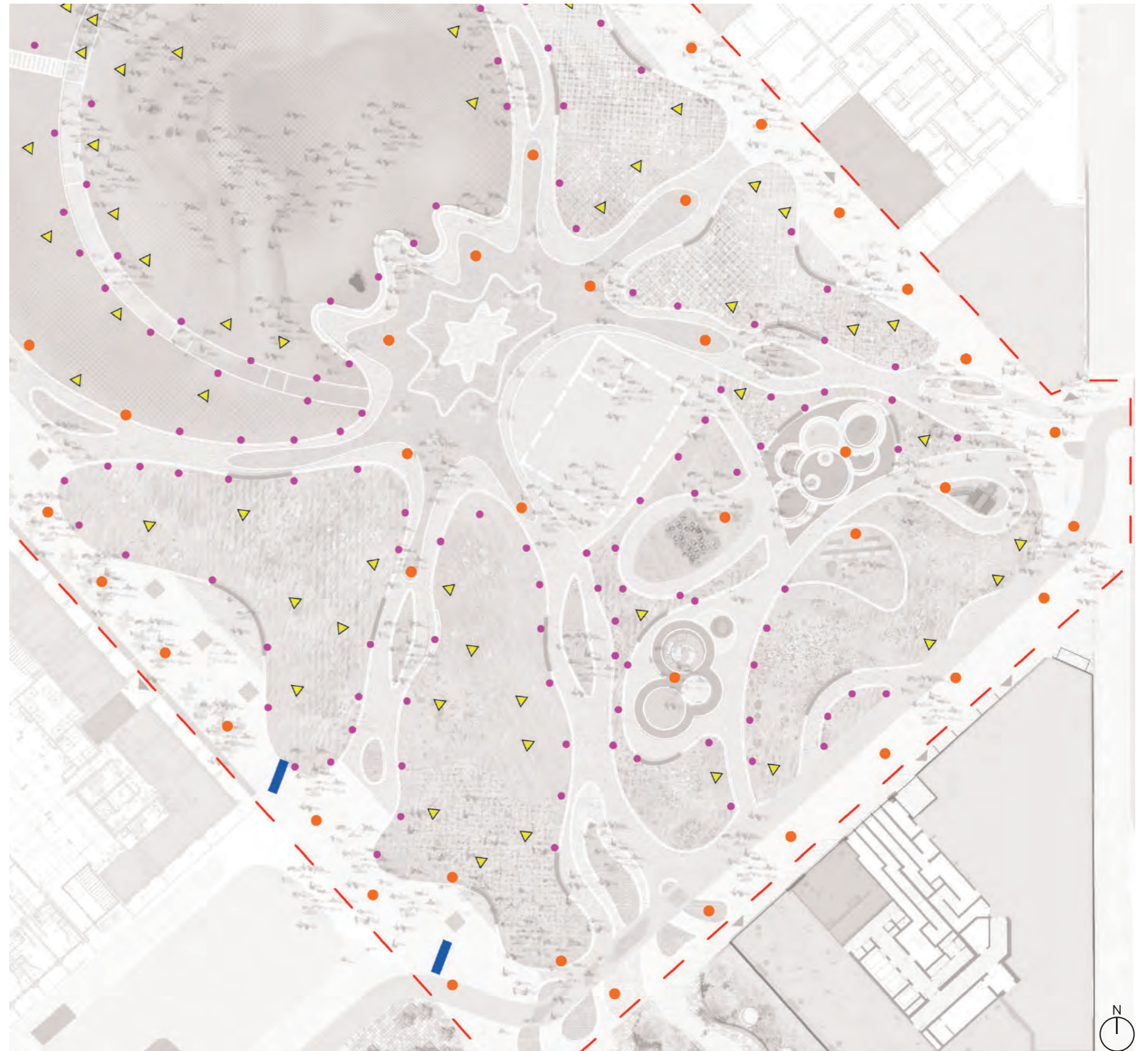


Figure 144. Diagram showing lighting location in Victory Park

15.2.7 Figure 145 indicates the lighting features as proposed by the lighting consultant. See the Lighting Report for further details.

- LEGEND**
- POLE TOP LUMINAIRE
 - BOLLARD
 - ▲ INGROUND UPLIGHT
 - CCTV



Figure 145. Illustrative view showing the lighting strategy



Figure 146. Diagram showing lighting location in Belvedere



16.0 Planting Strategy

16.0 PLANTING STRATEGY

16.1 PLANTING CONCEPT

- 16.1.1 The design concept for the planting has evolved from the “Nature All Around” vision with a focus on creating opportunities for a biodiverse mix of planting types to reflect the different levels and characters as you move up through the site.
- 16.1.2 At Victory Park, the concept is to create harmony on a city scale and to use generous tree planting and lush herbaceous and foliage gardens with seasonal variation. The proposed trees will include a diverse mix of species to complement the local context while creating a strong identity for the site, with foliage and form to balance canopy cover and light levels at ground level.
- 16.1.3 The proposed planting at the Belvedere will include the following:
 - Buffer area: focus on a wildflower meadow with colourful herbaceous plants and grasses.
 - Community gardens: appropriate-scale planting with a focus on pollinator species.

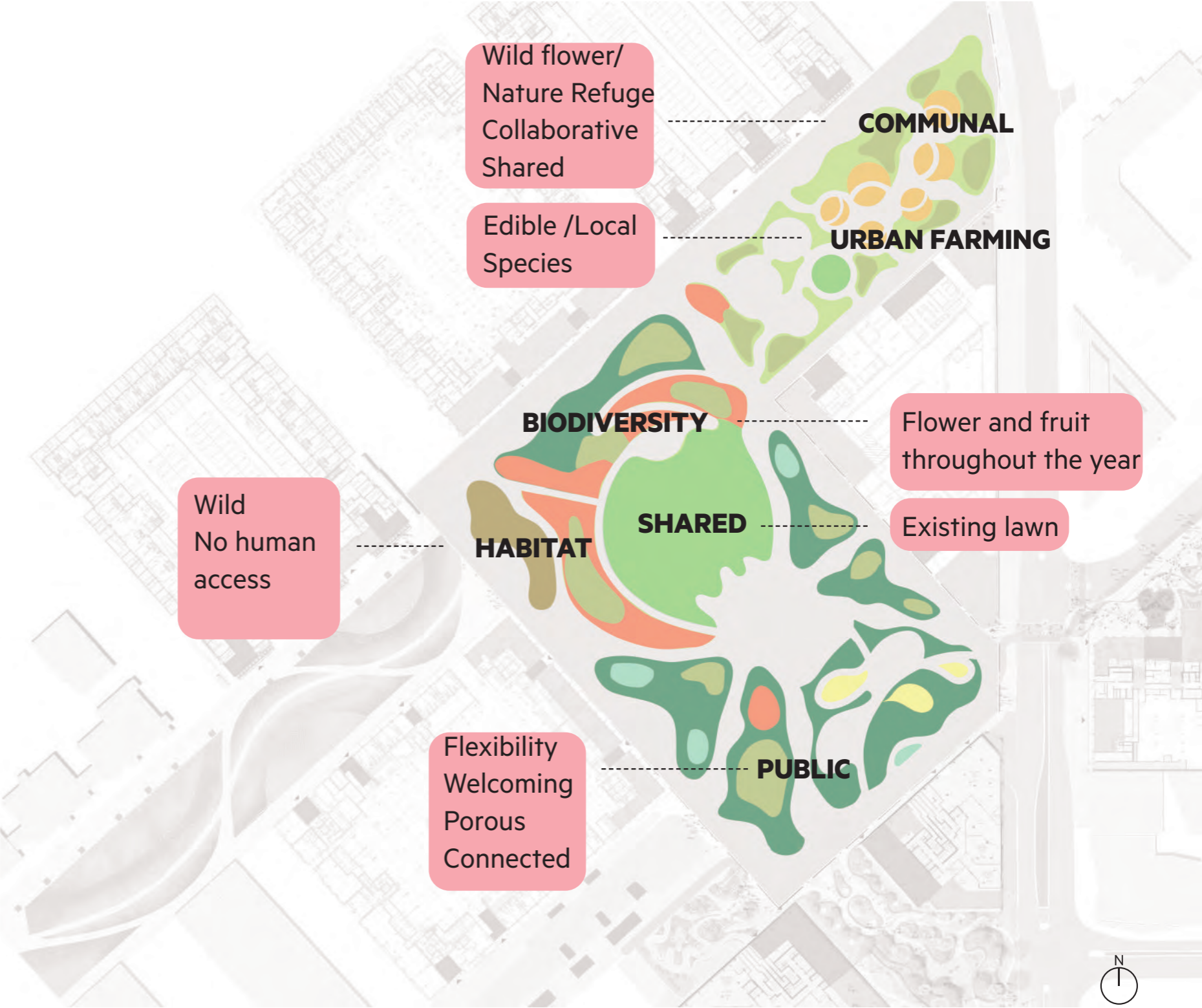


Figure 147. Diagram showing planting strategy

16.2 PLANTING CHARACTER

16.2.1 The intention is that the planting proposals establish a rich mosaic of planting types across the ground floor and up through the building's external spaces. The rationale behind creating a range of different planting types is to successfully combine an attractive, publicly accessible setting that provides seasonal interest, habitat creation, and biodiversity enrichment to create an environment that will be cherished by those living, working, visiting, and passing through the site.

16.2.2 The planting strategy has been based on a number of core design aims:

- To provide an attractive setting for the new development;
- To use new trees to create a scale and structure for the development;
- To use native and naturalised species where appropriate to target wildlife and promote local biodiversity;
- Selection of species that support appropriate low maintenance and drought conditions;
- Plants to help control the local microclimate and pollution;
- Retention of existing trees where possible and appropriate;
- Avoidance of high-allergen plant species;
- To create a landscape that provides seasonal interest;
- To create a distinctive and legible public realm through the use of planting.



Amenity lawn areas



Perennial and shrub planting



Wildflower Meadow



Urban Farming

LEGEND

- Areas of proposed wildflower meadow
- Perennial and shrub planting
- Areas of existing lawn
- Proposed urban farming
- Reinforced grass
- Retained for ecological value
- Proposed habitat zone relocation

Total softscape 11,415 sqm

4,286 sqm Perennials and shrubs

3,308sqm Wildflower meadow

2,424 sqm Amenity lawn

391 sqm Community gardens

209 sqm Reinforced grass

313 sqm Areas of special ecological value

Habitat area -relocation- 482 sqm



Figure 148. Diagram showing location of proposed planting types

VICTORY PARK & BELVEDERE

**PLANTING LIST - WILDFLOWER MEADOW/
HABITAT**

Note: The list below is intended as an appropriate menu from which individual species will be selected.

HERBACEOUS

- Achillea millefolium
- Alchemilla mollis
- Anemone x hybrida 'Honorine Jobert'
- Anemone canadensis
- Anemone hupehensis var. japonica 'Tiki Sensation'
- Astilbe chinensis 'Vision in White'
- Salvia x sylvestris 'Schneehugel'
- Aquilegia vulgaris 'Munstead White'
- Astrantia major
- Campanula latifolia
- Clematis recta
- Nepeta siberica
- Salvia nemerosa 'Caradonna'
- Salvia officinalis
- Stachys officinalis
- Verbena bonariensis
- Geranium macrorrhizum
- Geranium pheum
- Tellima grandiflora



Common Yarrow
Achillea millefolium



Lady's Mantle
Alchemilla mollis



Japanese Anemone
Anemone x hybrida
'Honorine Jobert'



Meadow Anemone
Anemone canadensis



Japanese Anemone
Anemone hupehensis
var. japonica 'Tiki Sensation'



False Goat's Beard
Astilbe chinensis



Wood Sage
Salvia x sylvestris
'Schneehugel'



Granny's Bonnet
Aquilegia vulgaris 'Munstead White';



Greater Masterwort
Astrantia major



Broad-leaved
Bellflower
Campanula latifolia



Ground Clematis
Clematis recta



Siberian Catmint
Nepeta siberica



Balkan Clary
Salvia nemerosa
'Caradonna'



Common Sage
Salvia officinalis



Betony
Stachys officinalis



Purpletop Vervain
Verbena bona



Big-root Cranesbill
Geranium macrorrhizum



Dusky Cranesbill
Geranium pheum



Fringecup
Tellima grandiflora

VICTORY PARK & BELVEDERE

**PLANTING LIST - WILDFLOWER
MEADOW/ HABITAT**

Note: The list below is intended as an appropriate menu from which individual species will be selected.

GRASSES

- Sesleria nitida
- Helictotrichon sempervirens
- Melica ciliata

HERBACEOUS

- Euphorbia polychroma
- Euphorbia characias 'Humpty Dumpty'
- Primula veris
- Pulsatilla vulgaris
- Lychnis coronaria 'Alba'
- Achillea 'Terracotta'
- Salvia nemorosa 'Caradonna'
- Kniphofia 'Tawney King'
- Echinops 'Veitch's Blue'
- Verbena bonariensis
- Knautia macedonica
- Scabiosa columbaria
- Philadelphus 'Belle Etoile'
- Crocsmia 'Emberglow'
- Anemone x hybrida 'Honorine Jobert'
- Nepeta 'Walker's Low'
- Allium schoenoprasum
- Armeria maritima
- Sisyrinchium striatum
- Malva moschata 'Alba'

GRASSES



Gray Moor Grass
Sesleria nitida

Blue Oat Grass
Helictotrichon sempervirens

Silky Spike Melic
Melica ciliata

HERBACEOUS



Cushion Spurge
Euphorbia polychroma

Wood Spurge
Euphorbia characias

Cowslip
Carex elata 'Aurea'

Pasque Flower
Pulsatilla vulgaris



White Rose
Campion
Lychnis coronaria 'Alba'

Yarrow
Achillea 'Terracotta'

Balkan Clary
Salvia nemorosa 'Caradonna'

Red Hot Poker
Kniphofia 'Tawney King'

Blue Globe Thistle
Echinops 'Veitch's Blue'

Purpletop Vervain
Verbena bonariensis

Macedonian Scabious
Knautia macedonia

Small Scabious
Scabiosa columbaria



Mock Orange
Philadelphus 'Belle Etoile'

Montbretia
Crocsmia 'Emberglow'

Japanese Anemone
Anemone x hybrida 'Honorine Jobert'

Catmint
Nepeta 'Walker's Low'

Chives
Allium schoenoprasum

Sea Thrift
Armeria maritima

Pale Yellow-Eyed Grass
Sisyrinchium striatum

White Musk Mallow
Malva moschata 'Alba'

**VICTORY PARK - WOODLAND STYLE +
ORNAMENTAL HIGHLIGHTS**

**PROPOSED PLANTING LIST - GENERALLY
EAST AND WEST PLANTING BEDS/**

NORTHERN MOUND AREA

Note: The list below is intended as an appropriate menu from which individual species will be selected.

STRUCTURE

- Ilex crenata
- Euonymus japonicus 'Jean Hugues'
- Saracocca ruscifolia
- Saracocca humulis
- Ceanothus sp.
- Viburnum tinus var.
- Skimmea 'Robert Fortune'

GROUND COVER

- Vinca minor
- Ajuga reptans 'Atropurpurea'
- Anemone nemorosa
- Pachysandra terminalis 'Green Carpet'
- Asarum europaeum
- Polygonum amplexicaule 'Firetail'

BULBS

- Hyacinthoides non-scripta
- Narcissus 'Thalia'

FERNS

- Dyopteris affinis
- Asplenium scolopendrium
- Dyopteris felix mas
- Polystichum setiferum 'Dahlem'
- Osmunda regalis
- Polypodium vulgare

STRUCTURE



Japanese Holly
Ilex crenata



Japanese Spindle
Euonymus japonicus
'Jean Hugues'



Fragrant Sweet Box
Saracocca ruscifolia



Sweet Box
Saracocca humulis



California Lilac
Ceanothus sp.



Laurustinus
Viburnum tinus var.



Japanese Skimmia
Skimmea 'Robert Fortune'

FERNS



Scaly Male Fern
Dyopteris affinis



Hart's Tongue Fern
Asplenium scolopendrium



Male fern
Dyopteris felix mas



Soft Shield Fern
Polystichum setiferum
'Dahlem'



Royal Fern
Osmunda regalis



Common Polypody
Polypodium vulgare



Deer Fern
Blechnum spicant

GROUNDCOVER



Periwinkle
Vinca minor



Ajuga
Ajuga reptans
'Atropurpurea'



Wood Anemone
Anemone nemorosa



Japanese Spurge
Pachysandra terminalis
'Green Carpet'



Foalfoot
Asarum europaeum



Persicaria
Polygonum amplexicaule
'Firetail'



Bluebells
Hyacinthoides non-scripta



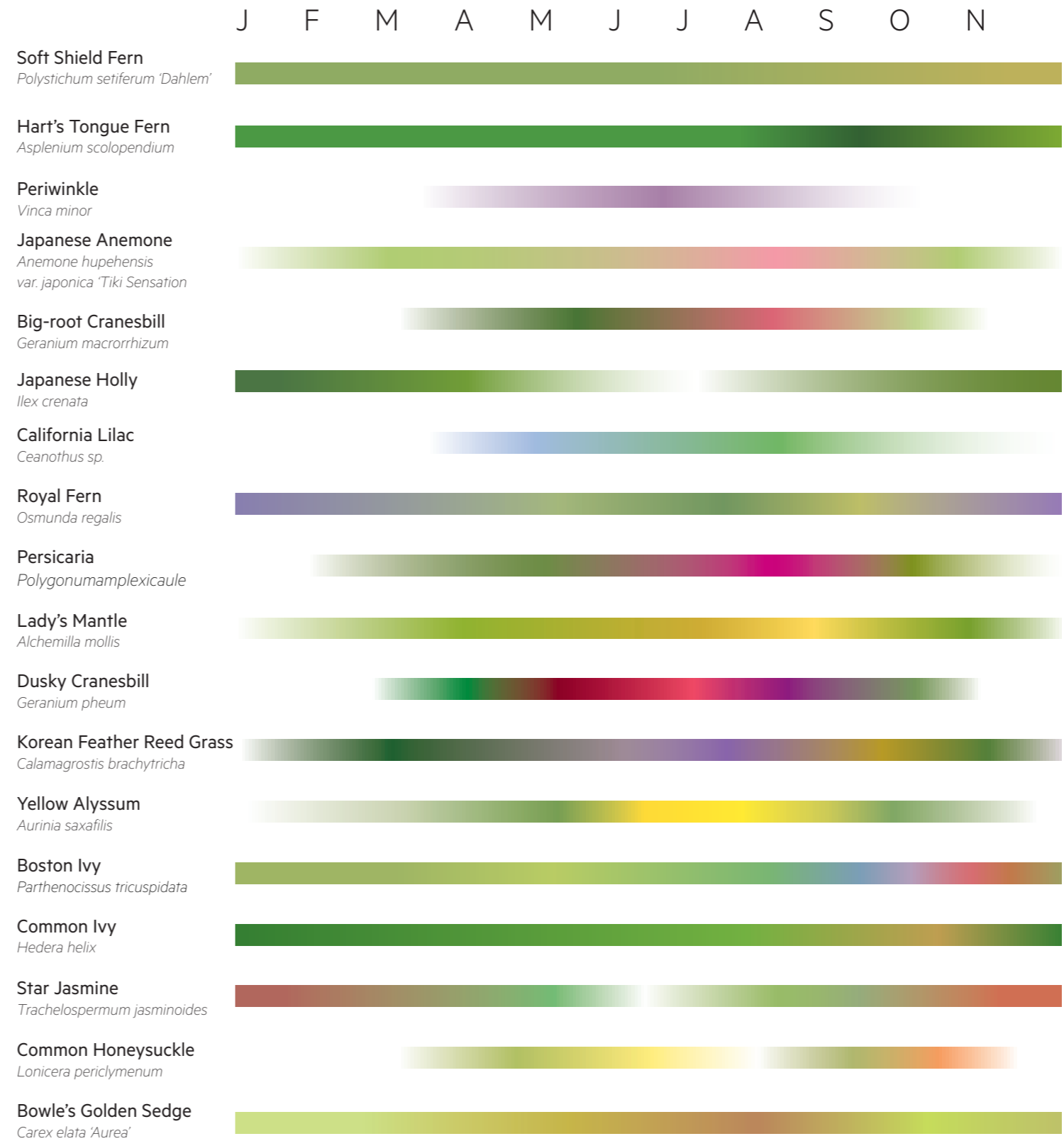
Daffodils
Narcissus 'Thalia'

BULBS

16.3 PLANTING SEASONALITY

16.3.1 The concept for the public realm is to create a distinct planting scheme with year-round interest that is suited to the varying microclimates around the site. The proposal is to create a lush woodland-style planting palette with a framework of shrubs and ornamental highlights of shade-tolerant herbaceous flowering species, bulbs, grasses, and ferns suitable for dry shade. It would be the primary planting zone and include the eastern and western boundaries.

In areas of greater sun, the proposal is to create beds of sun-loving pollinator species—herbaceous and grasses—with an evergreen groundcover.





17.0 Tree Strategy

17.0 TREE STRATEGY

17.1 EXISTING TREES

17.1.1 Existing trees are to be retained where possible. The condition of the existing trees has been assessed to ensure the suitability of retaining the existing trees. Some trees are proposed to be removed to facilitate the new design layout and ensure the health of the tree stock as a whole.

17.1.2 Of the 305 existing trees on the site, 152 are proposed to be retained. 152 will be retained in situ and integrated into the new design. Sufficient space and adequate protection measures have been set out to ensure that these retained trees are not damaged during the demolition and construction phases and to enable their successful retention post-construction. Retained tree protection measures are set out in the arboricultural impact assessment.

17.1.3 153 trees are proposed to be removed:

- To facilitate healthy growth of the neighbouring trees;
- To allow for the construction of additional pathways;
- Of the 153 trees to be removed, 15 are in category U

17.1.4 As it will be detailed in the next few pages, 212 new trees will be planted. This means that the proposed design will have 364 trees when compared with the current 305 trees on site.

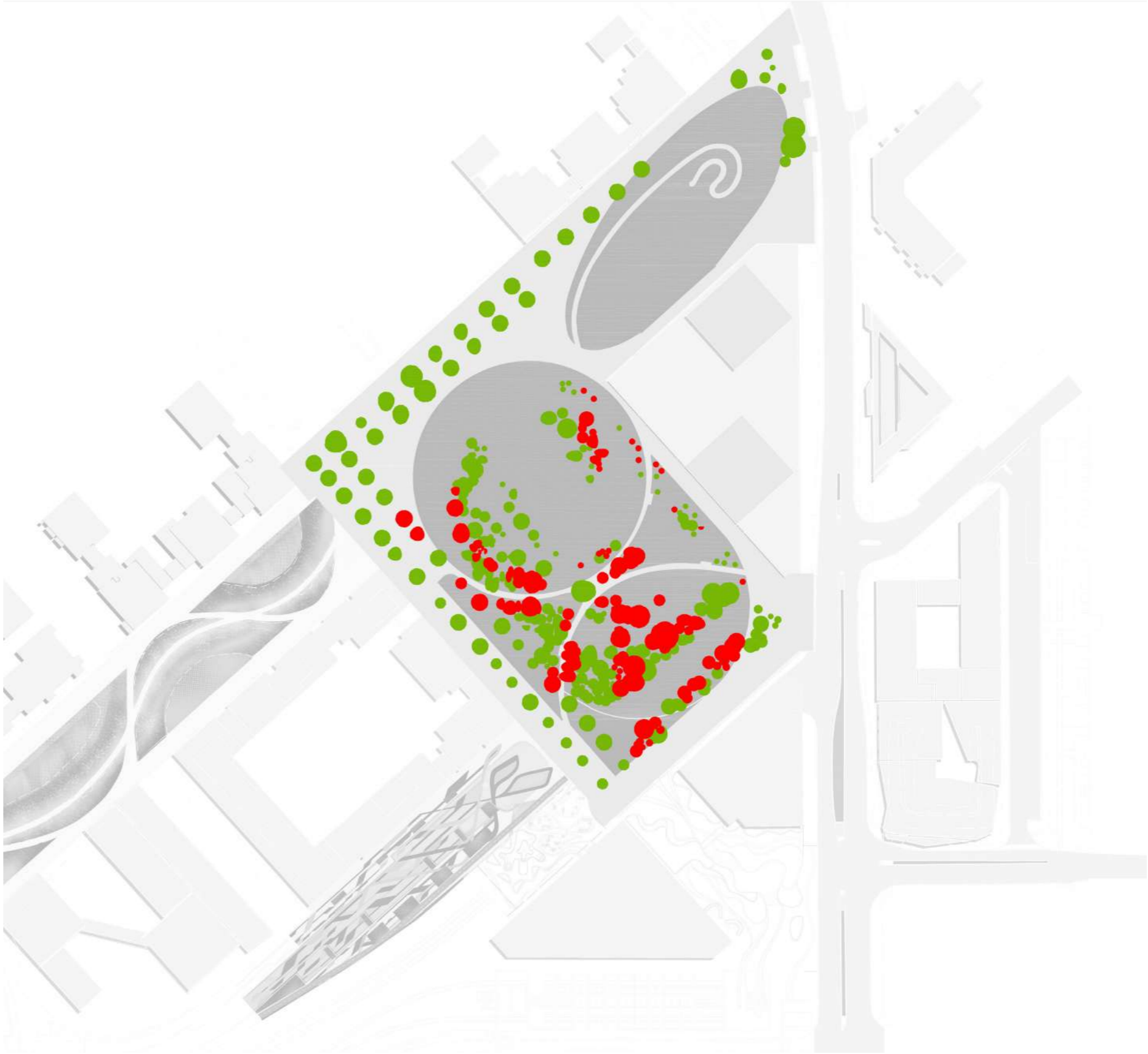
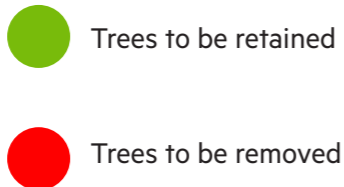


Figure 149. Diagram showing trees to be removed

17.6 GREEN INFRASTRUCTURE

17.6.1 New trees and associated planting will add to the overall green infrastructure for the site and its surrounding streets and public realm. 212 trees are proposed as part of the new design.

17.6.2 The aim is that the new green infrastructure will:

- Create a locally distinctive development, complementing the architecture and emphasising routes and focal points, providing visual amenity, and supporting human health and well-being;
- Create a verdant and habitat-rich environment, including green routes and spaces, green walls, green roofs, and communal gardens;
- Provide new tree planting to reduce the urban heat island effect, reduce the effects of urban noise, provide shelter and shade, cool and clean the air, extend the canopy cover, add seasonal interest, and increase local biodiversity;
- Integrate the principles of sustainability and ecosystem services throughout the proposals to create a comprehensive masterplan that embraces different aspects of sustainable design and puts the landscape to work.

17.7 TREE STRATEGY

17.7.1 New trees will be selected and located in accordance with the principles of “right place, right tree” and based on appropriate size, form, diversity, and character to ensure a net gain and improve the quality of the local environment. The proposals will ensure the new trees are selected to support wildlife in the area.

17.7.2 New tree planting will aim to extend the tree canopy across the development, complementing and enhancing the existing neighbouring trees. They will provide seasonal interest and variation with a range of different species and sizes, including groups and individual specimens (as focal points).

17.7.3 The new trees will be used to create a robust landscape structure and link up existing boundary trees with new trees to create new “green chains.” They will be used to create a sense of identity and distinctiveness, provide a sense of wayfinding and legibility, and enhance the proposed green infrastructure on site and in the immediate surrounding area. The trees will also support the following principles to ensure a robust and positive contribution to the landscape:

- Support climate change mitigation;
- They have good drought and disease tolerance;
- Have the appropriate tree pit size for extended growth and appropriate growing mediums in the soil specifications, depths, and structural capacity with associated surface loadings;
- They have the appropriate aeration, effective drainage, and root protection measures;
- Light foliage where light may be a concern;
- Form and structure, leaves, flowers, fruits, deciduous or evergreen;
- Mix of species (diversity to improve local biodiversity, protect against disease, provide visual interest, support wildlife, be productive, add value, and create habitat);
- Positioned to ensure appropriate growth conditions are maximised and appropriate and safe management and maintenance conditions can be facilitated.

17.7.4 In order to reinforce the proposed hierarchy of gateways, routes, and courtyard spaces, the proposed tree planting follows a clear approach, as illustrated in the tree strategy diagram opposite. The selection of tree species has been carefully considered to ensure they are appropriate for their location.

- LEGEND**
- Signature Trees
 - Tulip Tree
 - Scarlet Oak
 - Specimen Trees
 - Sweet Gum
 - Field Maple
 - Honey Locust
 - Red Maple
 - Existing Tree
 - Structure
 - Himalayan Birch
 - Grey Alder
 - Field Maple
 - Chinese Red Birch
 - Ornamental
 - Serviceberry
 - Chinese Dogwood
 - Snowy Mespilus
 - Judas Tree

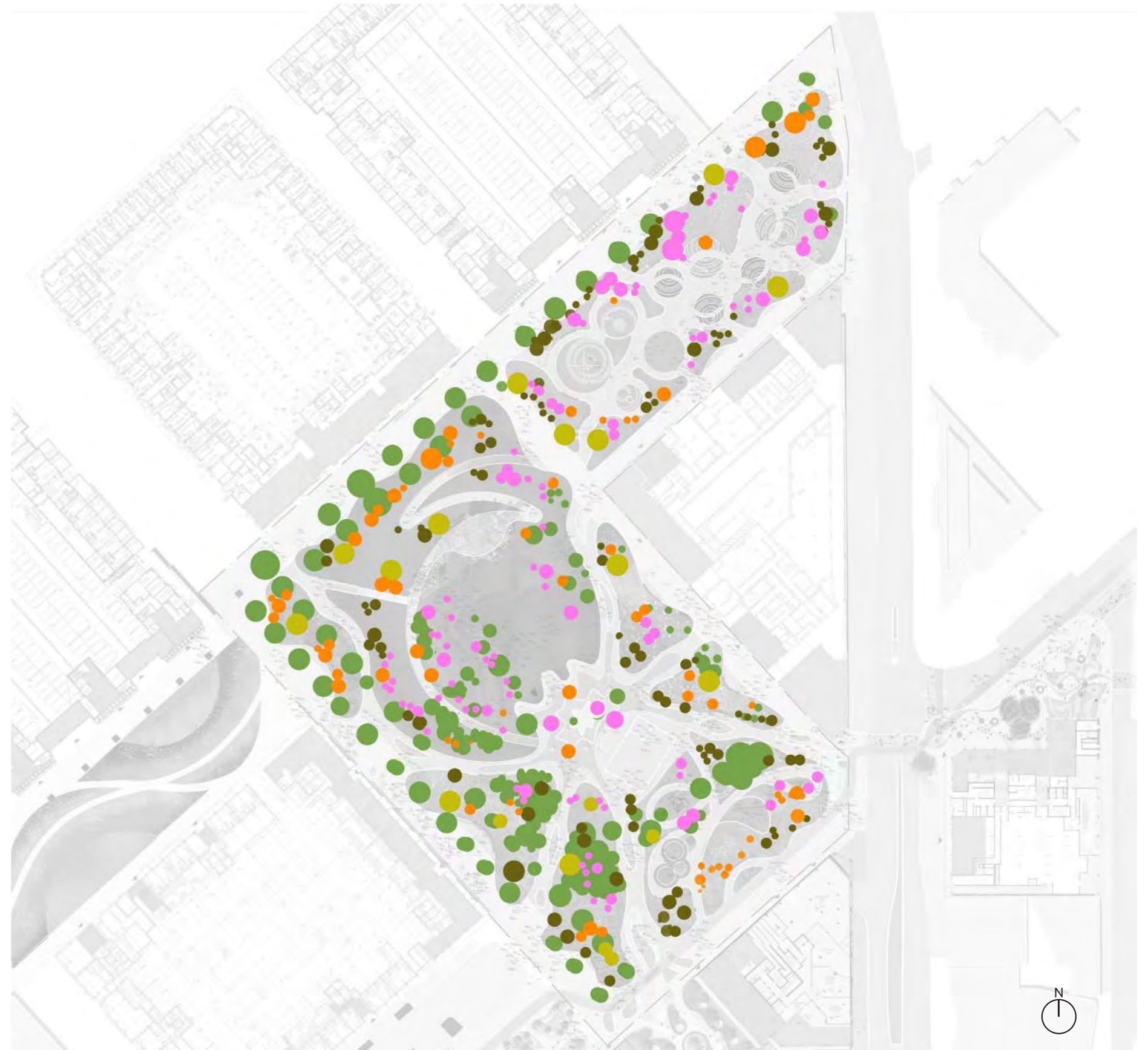


Figure 150. Diagram showing location of proposed tree planting

TREE STRATEGY

17.7.5 Signature Tree

- Single specimen within Victory Park to create a focal point within the public space. The emphasis is on providing a greater diversity of species (ornamental). Form and size will complement the existing trees along East and West Park Walk and provide a legacy structure.

17.7.6 Specimen/Street Trees

- To provide distinctive autumn colour and a form and height that will be compatible with the adjacent building. to provide a foil to buildings and to provide shade, as well as promote habitat diversity and reinforce the green links.

17.7.7 Structure Trees

- To help create green structure and rhythm in the linear spaces as well as good form that complements the scale of the spaces. light canopy cover and wildlife value.

17.7.8 Ornamental Trees

- To provide good spring bloom and a known good performance within an urban environment. to create a framework of multi-stem flowering trees providing a distinctive and unique character through a variety of forms and seasonal colour.

17.7.9 The tree planting strategy focuses on strengthening habitat connections with the surrounding neighbourhood and creating green routes to the east and west to promote green connections. An integrated approach to the planting proposals seeks to establish a robust habitat framework within which the trees will provide a significant contribution. Figure 150 illustrates the tree strategy with the typology of trees that are proposed.

● Signature Trees



Tulip tree
Liriodendron tulipifera



Spring interest



Autumn interest

● Signature Trees



Scarlett Oak
Quercus coccinea



Summer interest



Autumn interest

● Specimen Trees



Sweet Gum
Liquidambar styraciflua



Seeds interest



Autumn interest

● Specimen Trees



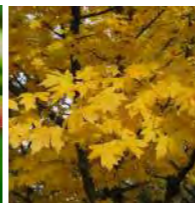
Field Maple
Acer campestre



Summer interest



Autumn interest



● Specimen Trees



Honey Locust
Gleditsia triacanthos



Summer interest



Autumn interest

● Specimen Trees



Red Maple
Acer rubrum



Summer interest



Autumn interest

● Structure



Himalayan Birch
Betula utilis



Bark interest



Autumn interest

● Structure



Grey Alder
Alnus incana



Seeds interest



Autumn interest

● Structure



Chinese Red Birch
Betula albosinensis



Bark interest



Autumn interest

● Ornamental



Serviceberry
Amelanchier



Spring interest



Summer interest



Autumn interest

● Ornamental



Chinese Dogwood
Cornus kousa



Spring interest



Autumn interest

● Ornamental



Juneberry
Amelanchier lamarckii



Spring interest



Autumn interest

● Ornamental



Snowy Mespilus
Amelanchier ovalis



Spring interest



Summer interest

● Ornamental



Judas Tree
Cercis siliquastrum



Spring interest



Autumn interest



18.0 Urban Greening Factor

18.0 URBAN GREENING FACTOR

18.1 URBAN GREENING FACTOR

- 18.1.1 London Plan Policy G5 requires all major developments to include urban greening as a fundamental element of site and building design. The policy introduces the use of an Urban Greening Factor (UGF) to evaluate the quantity and quality of urban greening provided by a development proposal. It is intended to provide an easily accessible means by which local authorities can score the merits of various green infrastructure and SuDs interventions across the urban environment. A wide range of options, including, but not limited to, street trees, green roofs, green walls, and rain gardens.
- 18.1.2 For the purpose of the exercise, reference has been made to the Mayor of London’s London Plan Guidance, “UGF September 2021 Draft Consultation Version”. The development proposals UGF allocates a factor to various types of surface cover included in planning proposals. The factors are a simplified measure of the various benefits (ecosystem services) provided by soils, vegetation, and water. The water-holding capacity of surface cover and associated soil is a good proxy for their “naturalness” and their ability to provide the range of benefits associated with more natural systems, including benefits in relation to health, climate change adaptation, air quality improvement, and biodiversity conservation.
- 18.1.3 Factors between 0 and 1 (in increments of 0.1) are allocated to each surface cover type. In calculating the UGF, the overall area of the development site is measured and then the area of various surface cover types proposed as part of the new development is mapped and measured, (see example opposite from the London Plan).

- 18.1.4 In calculating the UGF, the overall area of the development site is measured and then the areas of various surface cover types proposed as part of the new development are mapped and measured (see example opposite from the London Plan).
- 18.1.5 A factor (a weighting for naturalness and functionality) is then assigned to each surface cover type.
- 18.1.6 To calculate the overall UGF score, the factor for each surface covered within a site is multiplied by its area. This generates a series of figures which are then added together. This new total is then divided by the site’s overall site area to give a UGF score (see example opposite from the London Plan). This score can then be compared with a target set by the planning authority.
- 18.1.7 The planting types, factor scores, and calculation formula that we have used to calculate the UGF for the development proposals are summarised opposite. These have been extracted from the Mayor of London’s London Plan Guidance, “UGF September 2021 Draft Consultation Version”.
- 18.1.8 It is recognised that the UGF is a tool to help translate urban greening policy objectives into practice. They should be used in combination with the full suite of policies that relate to amenity, green infrastructure and biodiversity and are usually applied in concert with combinations of green infrastructure and biodiversity strategies, district plans, neighbourhood plans, landscape plans, masterplans, and design codes

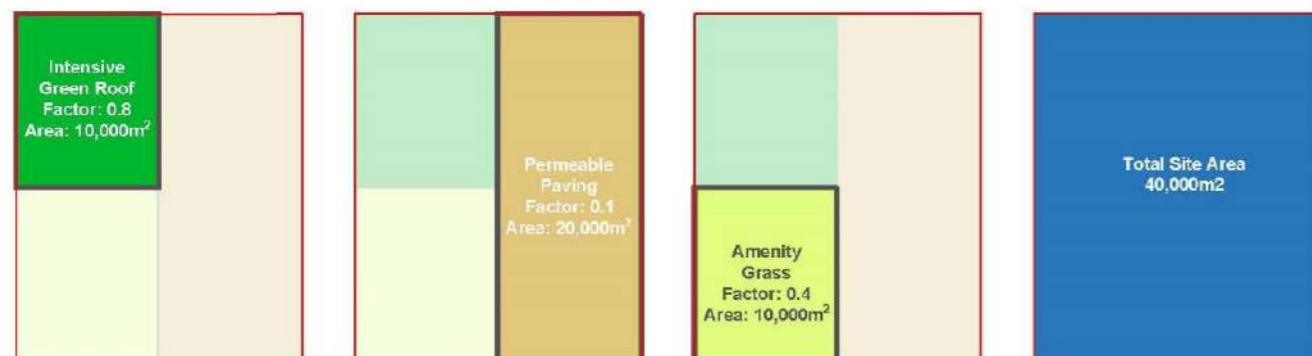


Figure 151. East Village at Queen Elizabeth Park

18.2 CALCULATING THE URBAN GREENING FACTOR

18.2.1 The following steps should be followed to calculate the overall UGF score for a proposal:

- Assign a UGF factor to each surface cover type in the development based on the factor scores in Fig. 152.
- Calculate the area of each surface cover type in square meters.
- Calculate the factor score by dividing it by the area of the corresponding surface cover type.
- Add the scores from each type of surface; then.
- Divide the combined score by the total site area in sqm to determine the scheme's UGF score.



| Surface cover type | Factor |
|---|--------|
| Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site. | 1 |
| Wetland or open water (semi-natural; not chlorinated) maintained or established on site. | 1 |
| Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm. | 0.8 |
| Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree. | 0.8 |
| Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014. | 0.7 |
| Flower-rich perennial planting. | 0.7 |
| Rain gardens and other vegetated sustainable drainage elements. | 0.7 |
| Hedges (line of mature shrubs one or two shrubs wide) | 0.6 |
| Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree. | 0.6 |
| Green wall –modular system or climbers rooted in soil. | 0.6 |
| Groundcover planting. | 0.5 |
| Amenity grassland (species-poor, regularly mown lawn). | 0.4 |
| Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014. | 0.3 |
| Water features (chlorinated) or unplanted detention basins. | 0.2 |
| Permeable paving. | 0.1 |
| Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone) | 0 |

Figure 152. Surface cover typed for factor of scores (Policy G5 Urban Greening)

18.3 URBAN GREENING FACTOR PROPOSALS & SUMMARY

18.3.1 Victory Park and the area formerly known as the Belvedere were delivered under a Reserved Matters Application (RMA) pursuant to the overarching SC OPP back in 2009. Both were subsequently delivered for the use of the site as the athletes' village during the 2012 Olympic and Paralympic Games. They therefore predate the principle of UGF and most recent planning policies. An update was made to the design of the area formerly known as the Belvedere in 2019, and the existing calculation reflects that context.

The new design for Victory Park and Belvedere will increase the quality of green surfacing by replacing some of the amenity lawns with other types. The new design concept has evolved from the "Nature All Around" vision, focusing on creating opportunities for an ecologically rich and biodiverse mix of planting to reflect the different levels and characters as you navigate the site.

18.3.2 The new design for Victory Park and Belvedere will increase the quality of green surfacing by replacing some of the amenity lawns with other types. The new design concept has evolved from the "Nature All Around" vision, focusing on creating opportunities for an ecologically rich and biodiverse mix of planting to reflect the different levels and characters as you navigate the site.

18.3.3 At Victory Park (approximately 17,875sqm), the concept is to create harmony on a city scale. To achieve this, extensive areas now dedicated to amenity lawns will be dedicated to lush herbaceous and foliage gardens with seasonal variations. The existing trees will be thinned out, and new trees will be planted. The new tree planting palette will include a diverse mix of plantings, in contrast with the current homogenous one. This will help to establish a new identity.

18.3.4 At At Belvedere (approximately 6,900 sqm), which is currently occupied entirely by an amenity lawn, the improvement will be significant. The new design proposal includes a green perimeter framing the space, comprising wildflowers with colourful herbaceous and grasses, and a community garden suitable for pollinator species.



Amenity lawn areas



Perennial and shrub planting



Wildflower Meadow



Gardening

18.4 URBAN GREENING FACTOR PROPOSALS: SCORE

- 18.4.1 The landscape proposals include a variety of different habitats that make up over 13,212 m² across the development. These have been translated into ‘planting types’ as set out in the London Plan Guidance for calculating UGF (September 2021).
- 18.4.2 The existing park has been measured and achieves a UGF of 0.44. The existing park mainly comprises amenity grass, standard trees, and semi-natural vegetation.
- 18.4.3 The proposed UGF breakdown is summarised in the opposite column of the colour-coded table. This confirms that the proposals achieve a UGF of, which is an increase from the existing situation. A number of new surface types have been introduced to provide a multi-layered mosaic of planting types. This includes an understory of perennial planting, ground cover, and rain gardens.



Figure 153. Visual of the proposed design for Victory Park and Belvedere

| Urban Greening Factor Calculator | | | | |
|--|---|--------|-----------------------------------|--------------|
| Key | Surface Cover Types | Factor | Area (m ²) | Contribution |
| ■ | Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site. | 1 | 4624 | 4624 |
| | Wetland or open water (semi-natural; not chlorinated) maintained or established on site | 1 | 0 | 0 |
| | Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm. | 0.8 | 0 | 0 |
| ■ | Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree. | 0.8 | 4772.5 | 3778 |
| | Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014. | 0.7 | 0 | 0 |
| ■ | Flower-rich perennial planting. | 0.7 | 3615 | 2530.5 |
| ■ | Rain gardens and other vegetated sustainable drainage elements | 0.7 | 851 | 595.7 |
| | Hedges (line of mature shrubs one or two shrubs wide) | 0.6 | 0 | 0 |
| | Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree | 0.6 | 0 | 0 |
| | Green wall –modular system or climbers rooted in soil. | 0.6 | 0 | 0 |
| | Ground cover planting. | 0.5 | 0 | 0 |
| ■ | Amenity grassland (species-poor, regularly mown lawn). | 0.4 | 2633 | 1052.8 |
| | Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014. | 0.3 | 0 | 0 |
| | Water features (chlorinated) or unplanted detention basins. | 0.3 | 0 | 0 |
| | Permeable paving. | 0.1 | 0 | 0 |
| | Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone) | 0 | 0 | 0 |
| | | | Total Contribution | 12581 |
| | | | Total site area (m ²) | 25097 |
| | | | Urban Greening factor | 0.50 |

LEGEND

- Semi Natural Vegetation
- Standard trees
- Flower Rich perennial planting
- Rain gardens
- Ground cover planting
- Amenity grassland



Figure 155. Visual showing the rich planting in Belvedere



Figure 156. Visual showing the rich planting in Victory Park

Wildflowers and community gardens with a playground area

Lush herbaceous and pollinators planters

Mound with amenity lawn

Species - rich grassland

Community Hub with flowering trees

NEAP has been relocated amongst nature

Mirror Maze (public art) in amenity lawn



Figure 154. Diagram illustrating the proposed UGF in Victory Park



19.0 Ecology Strategy

19.0 ECOLOGY STRATEGY

19.1 ECOLOGY STRATEGY

19.1.1 This section outlines recommendations for ecological design made by Biodiversity By Design. Please refer to the full Ecological Report for further details.

19.1.2 The landscape proposals for the development seek to create a variety of different habitat types that will provide excellent habitat for a wide variety of pollinators and common songbirds, as well as an airspace above that is good foraging habitat for bats. The proposed habitats are described below.

19.1.3 Natural Copse.

- The existing “natural copse” habitat will be relocated to a location north of Portland. The vertical and standing deadwood, stone bird bath, and trees (as far as possible) will all be transferred. The turf will also be translocated but oversown with a better wildflower mixture.

19.1.4 Trees.

- The proposed tree strategy provides greater species diversity within the park to provide habitat and food for birds and insects.

19.1.5 Sustainable Urban Drainage Systems (SuDS).

- Areas of rain garden planting provide habitat for a number of species.

19.1.6 Meadow Areas.

- A wildflower meadow planting is proposed. An example of this envisaged habitat is provided in the image adjacent. This habitat type will be of greater value to the characteristics and growing invertebrate and bird life of the village and will create good foraging resources for bats.

19.1.7 Amenity Lawns.

- The lawn areas will be species-poor amenity turf designed to take high footfall. There will be an inclusion of legumes such as clovers to increase drought tolerance. This will provide some foraging habitat for invertebrates and ground-based songbirds such as starlings.

19.1.8 Perennial Planting Beds.

- The perennial planting beds proposed will support a great array of flower types and produce flowers over an extended flowering period. Early and late-season provision of nectar and pollen will assist many invertebrate species.

19.1.9 Food Production Areas.

- There will be food production areas in Belvedere that will be used by a range of songbirds and invertebrates.

19.1.10 Faunal Refuges.

- All of the existing refuges will be retained on site but translocated where possible to areas where human disturbance during major events such as concerts will be minimized. This will include the “Natural Copse” and the trees within the redesigned Belvedere area. No new fauna refuges will be added to Victory Park’s central and southern areas due to the significantly increased disturbance likely in the redeveloped site.



Existing bat refuges to be relocated



Wildflower meadow planting

Figure 157. Illustrative examples of habitat proposals

- Habitat Types
- Natural Copse
 - Wildflower Meadow
 - Perennials and shrubs
 - Ground Level planters
 - Sustainable drainage feature
 - Amenity Grassland
 - Tree canopy
- Faunal Refuges
- Existing relocated bat refuge
 - Existing relocated bird refuge



Figure 158. Diagram showing location of proposed ecological features



20.0 Landscape Maintenance and Management Strategy

20.0 LANDSCAPE MAINTENANCE AND MANAGEMENT STRATEGY

INTRODUCTION

20.1.1 It is the client's intention that the Public Open Space and public realm are maintained by a private management company. The key objectives of long term management will be to ensure:

- The long-term interest of nature conservation and landscape structure is safeguarded, and that the Development is exemplary for its landscape management.
- The preservation of existing trees and provision of new habitats is best encapsulated by the implementation of a long-term Landscape Management Plan.
- The development and establishment of the landscape in particular with regard to plant replacements.
- Management operations will minimise disturbance to the natural land systems such as vegetation cover, soil structure and ground drainage.
- Sustainable and environment friendly approach is adopted for all operational and maintenance tasks.
- Vegetation and landscape components are controlled to maintain a safe environment for the public, maintenance operatives and other site users.

20.1.2 A Landscape Management Plan will be prepared to satisfy the requirements of the relevant pre-occupation Planning Condition. The landscape management plan is likely to have a structure comprising:

- Description of the site with statements regarding the overall landscape design, philosophy and management objectives.
- Detailed description of individual management types with particular reference to landscape management compartments e.g. hedges, lawns etc.
- Specifications and schedules of routine and special operations,

work programmes and materials etc. necessary to achieve the objectives. This information will also provide a basis for budgeting and cost control.

- Recommendations for monitoring and appraisal of the site's development in terms of plant form and growth, habitat species establishment, diversity and surface water collection management and use patterns with the capacity to modify or influence objectives, operations and programmes. Ensure that the framework is flexible to support the opportunities for community enhancement and involvement in the management programme of works. The structure should also enhance the links with educational and skills/teaching programmes.

20.1.3 In order to maintain and develop the qualities and aspirations of the landscape proposals, the landscape management and maintenance regimes will need to reflect the specific requirements for each of the various landscape character areas and habitats provided across the site. The following framework of management periods provides an overview of how landscape and public realm management can be undertaken. This framework will be considered in the formation of a future management plan.

20.1.4 Establishment Period

- Requirements for maintenance works during the Defects Liability Period will be set out in the Contracts agreed at the time. Following successful completion of the Defects Liability Period, the responsibility for the maintenance of the landscape works for the Site will be handed over to private maintenance teams under the control of the Estate Management Company. Although the Defects Liability Period will cover most of the period required for the establishment of new planting, it is important that ongoing maintenance continues to follow the guidelines set out in the contract specifications in order to ensure continued establishment.

20.1.5 Maturation Period

- The maturation period for each of the public spaces is dependent on the individual planting and grass regimes found

within each area. As a general rule, grassland will be fully established within 1 year, with the exception of wildflower seeding which may take up to 3 years before all species have established. Ornamental shrub beds, herbaceous planting and climbers should take 3+ years to fully establish and close up. The maturation of trees will depend on a number of factors, namely species, planting size and location.

21.0 Annex: Pavilion Brief

21.0 ANNEX: PAVILION BRIEF

21.1 PURPOSE OF THE DOCUMENT

21.1.1 The proposals for the public realm have been developed in detail and will be submitted as part of a suite of planning applications in February 2023. The planning application outlines parameters only for the Pavilion. This will include use, location, area, maximum massing parameters, and indicative servicing. Following determination, these parameters will form part of the briefing for an architectural competition to develop detailed proposals for the Pavilion.

21.1.2 The Community Hub is one of the most important areas proposed within the reimagining of Victory Park. A key component of the new spatial configuration is the proposed Pavilion adjacent to the central space and the NEAP. The following pages explain in detail the aspirations of the Pavilion, its key brief, and its contextual constraints. The Pavilion will be understood as an element within the landscape proposal, and, as such, the design will respond to the landscape surrounding it.

The Applicant aspirations for the scheme are:

- The Pavilion will be located within the Community Hub and adjacent to the Community Plaza and the NEAP in order to activate the centre of Victory Park.
- To create an attraction in conjunction with the rest of the elements of the landscape, contributing to the activation of Victory Park;
- To increase the footfall and activity in the East Village public realm, to support the Pavilion itself as well as the adjacent retail;
- To improve wayfinding and support all activities and permeability in and around Victory Park;
- To create a cluster of activities comprising the relocation of the NEAP, the Pavilion, the Community Plaza, and the mound with its canopy.

21.1.3 To ensure the Pavilion is an integral part of the public realm and consistent with the aspirations listed above, Grant Associates (the planning application design team) will have a monitoring role throughout the development of the Pavilion.

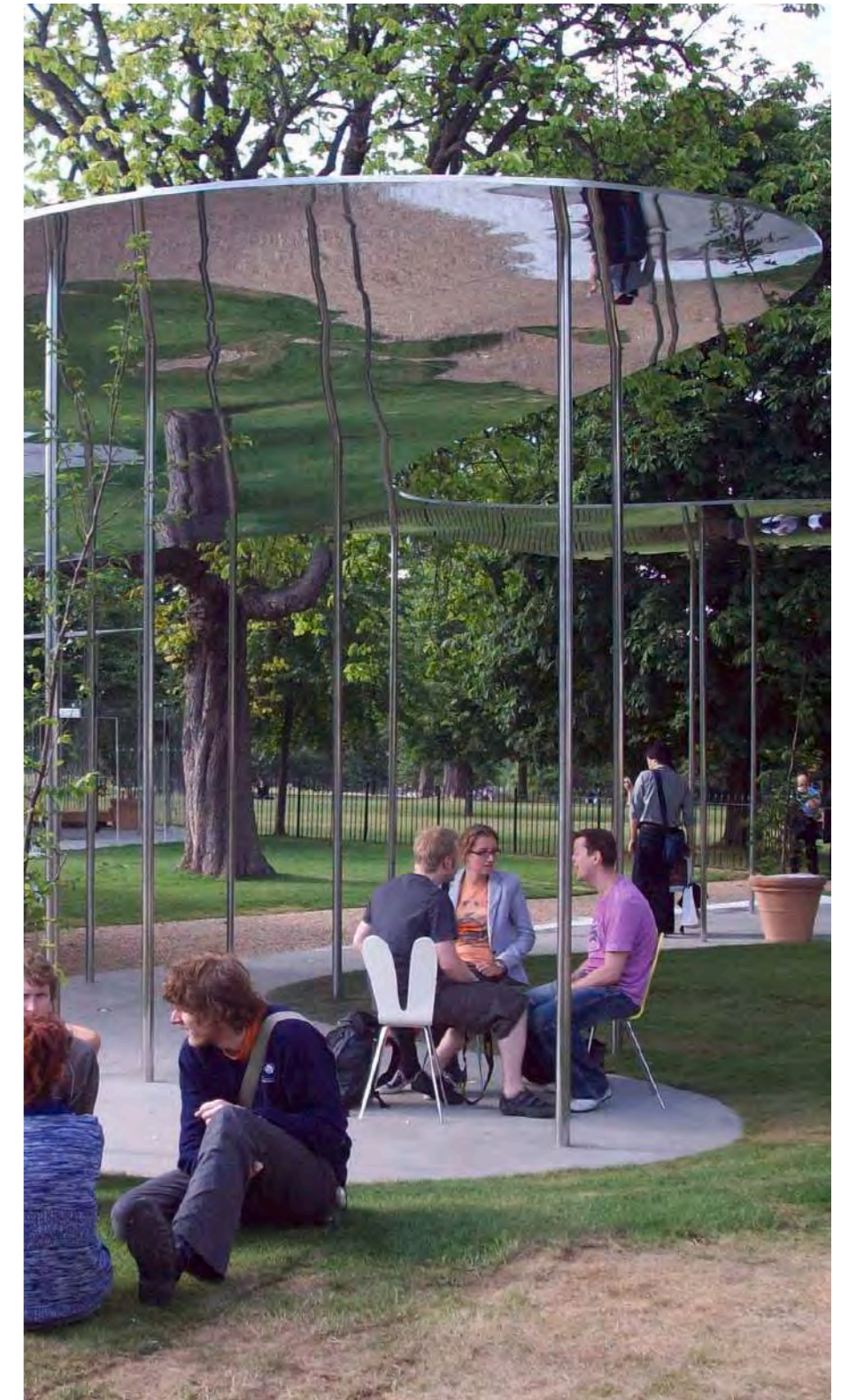


Figure 159. These images illustrate different examples of accomplishing an optimum level of permeability between the public realm and a Pavilion.

21.2 BACKGROUND INFORMATION

21.2.1 Victory Park

- In its existing condition, the northern end of Victory Park has a large “mound” of c. 3.5 metres in height, which is planted with mature trees for the purpose of wind mitigation. The existing mound forms a natural amphitheatre or “bowl” that is home to a number of activities.
- A review was carried out by the wind analysis consultant FD Global, which concluded that the removal of the mound would result in a significant deterioration of the current wind environment in the period until the trees mature. In order to achieve the same levels of “current-day” mitigation, far more mitigation would be required than if the existing mound were to remain in place—i.e., to plant a high number of large and mature trees.
- These findings informed the design and retention of the mound. However, the Pavilion will have an important role in activating the park and creating synergies with the surrounding uses.
- The design of the pavilion would need to be carefully integrated into the landscape. Furthermore, it would need to create synergies with the functions that currently take place in the mound, for example, the projection of sports, movies, etc.
- Section 106 includes a requirement for the provision of public restrooms as part of the proposals for East Village N18/19. These were included in the buildings of N18/19 in the 2014 RMA.
- Following engagement during the Stage 1b period, it was agreed for the public WCs to be contained outside of N18/19 and in the public realm to support better management and better access for members of the public.



Figure 160. Victory Park Mound will look towards the future Pavilion



Figure 161. View of Victory Park from East Park Walk

21.2.2 Planning Engagement

- The proposals for the public realm (including Victory Park, the Pavilion, and Belvedere) have been done through a collaborative process in which the LLDC planning officers have been fundamental. As a consequence of the planning engagement and the fact that the Pavilion competition will be held after the planning determination period, it is important to understand that the spatial configuration of the public realm, the design components, language, plot location, and size of the Pavilion are elements that are given and shall not be altered by the Pavilion proposals. The Pavilion will be an architectural piece complementing the landscape, not vice versa. In the case studies shown in the next pages, it is implied that the preferred solutions should establish a harmonious relationship with the landscape without the temptation of delivering artefacts that have no relation to their surroundings.

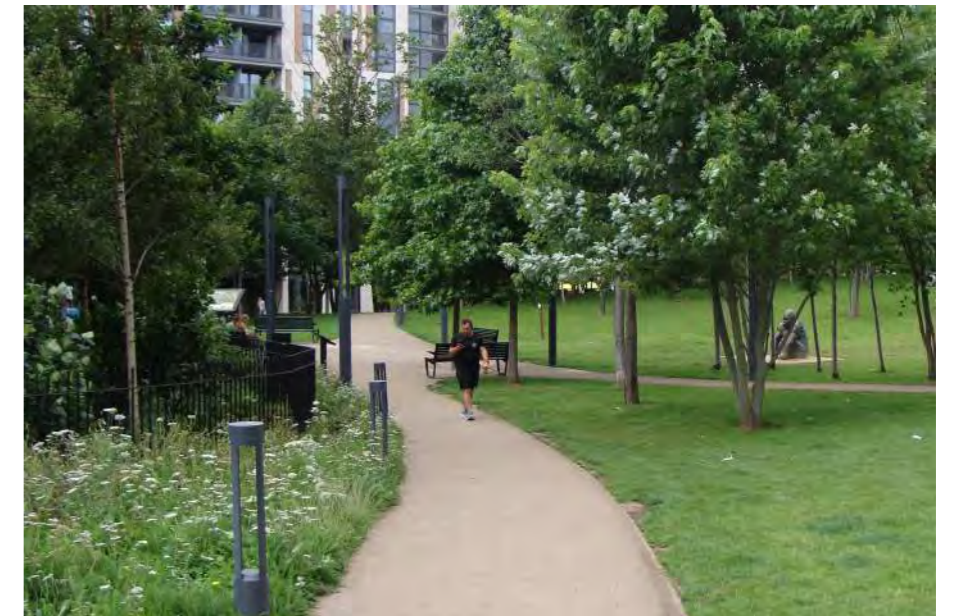


Figure 162. Current view towards the centre of Victory Park in which the Pavilion will be located

21.3 CASE STUDIES INFORMING THE BRIEF

21.3.1 A series of cafes and Pavilions were studied in order to assess the best dimensions and the best parameters for the brief.

21.3.2 The Hub Cafe, Victoria Park, London

- The café is part of The Hub, a larger building in the heart of Victory Park. The café has a series of elements, such as an indoor and outdoor seating area. These elements help activate the surrounding area. The cafe also includes public toilets.
- Architecturally, the café forms part of a larger building, but it comprises three active facades and a level of transparency, especially towards the west side. This level of involvement binds the architectural piece to the surrounding landscape, giving the impression that the Hub is beautifully placed within the landscape, avoiding conflicts and instead complementing its surroundings.
- Elements of significant importance for Victory Park include: shape, transparency, a successful cafe, and activation.

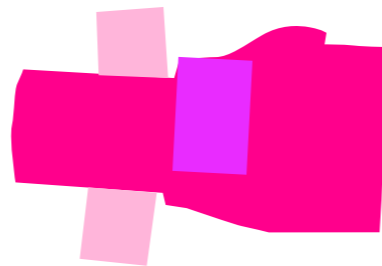


Figure 163. Magenta indicates the total area of approximately 250 sqm with the purple indicating the 30% dedicated to counter, back counter, storage and servicing.



Figure 165. Images illustrating the Cafe

21.3.3 The Serpentine Coffee House / Mizzi Studio, Hyde Park, London

- This coffee house created a landmark with its form and materiality. It comprises a complex and fluid canopy as a roof, which tapers towards the end, creating a fine edge profile and a delightful space for customers to sit under shelter and enjoy the park.
- The Pavilion is open and semi-transparent, evoking the pagoda architecture traditionally seen in Japanese tea houses, which creates a lightness that helps the building integrate seamlessly into the landscape, resulting in a complete and harmonious design that takes full advantage of its setting.
- In terms of size, its only function is a café, which comprises an area of 100sqm.

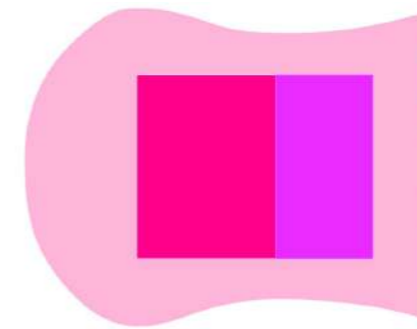


Figure 164. Total Area: 100 sqm. Pink indicates the total area covered by a canopy with the purple indicating the 41% dedicated to counter, back counter, storage and servicing. The magenta indicates the enclosed seating area.



Figure 166. Images illustrating the openness of the Coffee House

21.3.4 Elephant Park Pavilion / Bell Phillips Architects, London.

- The building encircles a mature London plane tree and incorporates a kiosk, public washroom facilities, a publicly accessible multifunctional space and a roof terrace. It aims to enrich people's experience of the park, offering opportunities to rest under the shade of the dense tree canopy or to socialise over a coffee. The pavilion's materials were chosen to help lower the scheme's embodied energy.
- Elephant Park's mature trees and open recreation space will help to create an area where wellbeing and physical activity are accessible to all. Working within the framework of park promenades and walkways laid out by landscape designers, The Tree House will be a key visual marker, defining a gateway into the park from Sayer Street.
- Two of the volumes house 'black box' functions such as refuse stores, washrooms and plant. Within the third volume, an 18 sqm servery kiosk is positioned on the prominent southern corner of the site. This can be divided into two, creating options to serve the Sayer Street entrance, the multifunctional space or both simultaneously.
- To allow for a range of uses and changes in the weather, the central multifunctional space will have two potential states: closed off to form an internal room; or opened to the wider park setting. The upper terrace will also act as an events space for art classes, exhibitions, screenings or as an elevated gallery to overlook events below. The experience of being within the park is integral to the design of the building.
- **Elements with significant importance for Victory Park are:** materiality, spatial configuration, careful integration in the landscape; architectural quality..



Figure 167. Aerial View of the Pavilion



Figure 168. Facade of the Pavilion

21.3.5 Sacher Park Cafe/ Yaniv Pardo Architects, Jerusalem, Israel

- The design of the café has important elements such as utilising the natural topography, following the language of the dry valleys of Jerusalem, and using green technologies.
- The coffee shop is part of the overall vision of planning the entire space with the intention of rebranding Sacher Park as a modern and active urban space by building a coffee shop and an amphitheatre for public events.
- **Elements of significant importance for Victory Park include:** materiality, architecture subservient to the landscape and its topography, lightness of the façade, and an area of 250 square meters.



Figure 170. Total Area: 250 sqm. Pink indicates the total area covered by a canopy, with purple indicating the 11% dedicated to the counter, back counter, storage, and servicing. The magenta (15%) indicates the enclosed seating area.



Figure 171. Seamless relationship between landscape and architecture.



Figure 172. Facade of the Pavilion.

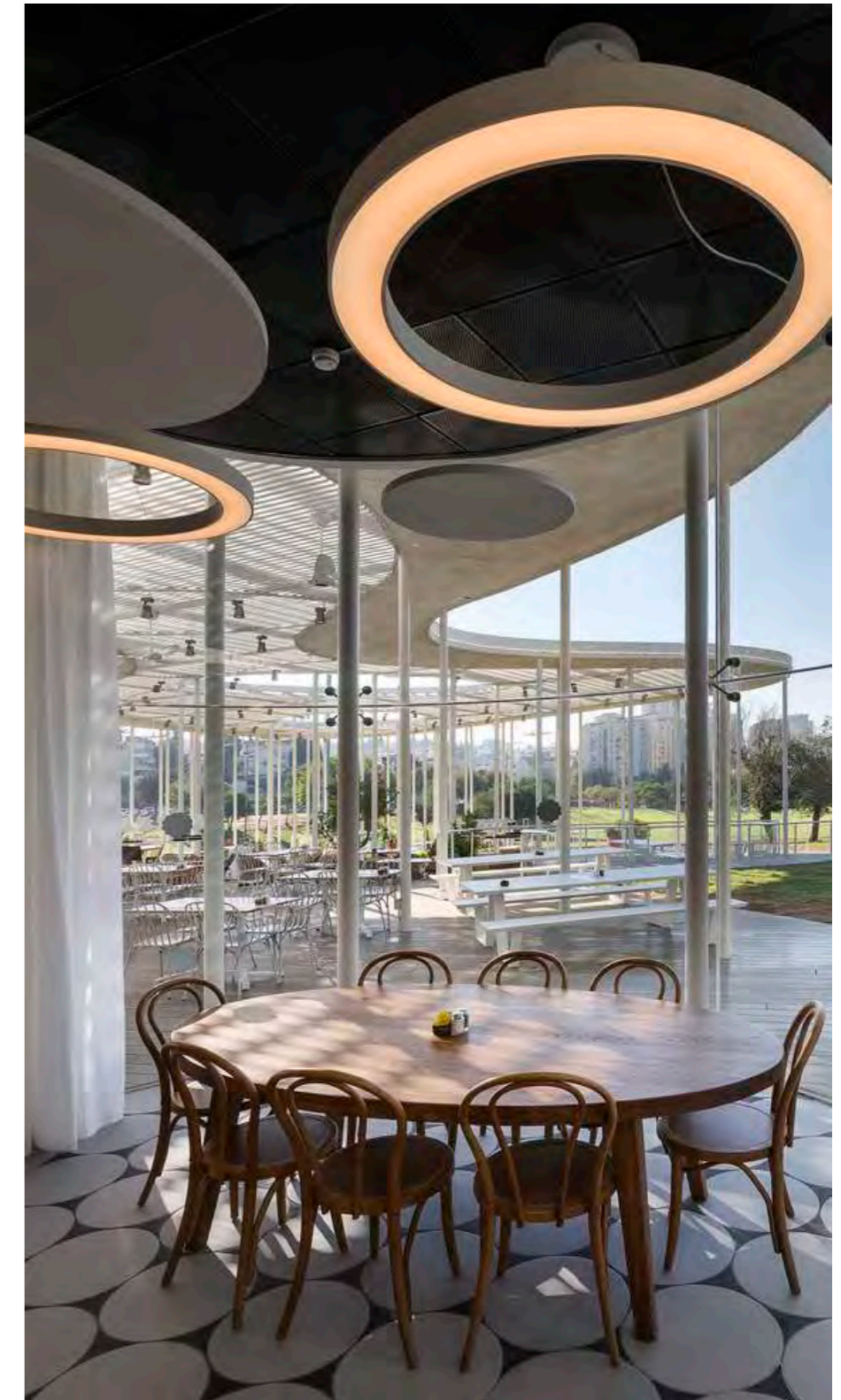


Figure 173. Semi transparent facade.

21.4 PROPOSED PAVILION

21.4.1 The Pavilion brief has been deeply informed by the case studies, the spatial configuration assessment explained in detail in the DAS, and a constructive dialogue between the design team, LLDC, and the client.

21.4.2 Functions and Uses

A flexible and contemporary venue, the Pavilion should have a commercial F&B focus with seating and a space to host a range of events such as exhibitions, community events, and gatherings.

The Pavilion will provide:

- An original and high-quality design that complements the new Victory Park, Belvedere, and East Village public realm designs and inspires imaginative programming;
- Raise the overall aesthetic of the East Village while being sensitive to the context;
- A point from which residents and visitors can engage with the public realm and explore its areas for activity and opportunities for decompression;
- Primary access from both the north and south, and secondary access from the east and west;
- Indoor and movable outdoor seating;
- Programming and potential local partnerships are anticipated to be explored at a later stage or competition briefing;
- Good outward visibility of the Victory Park NEAP and Community Hub;
- Outdoor cycle parking as required;
- A community notice board.

- Public toilets with separate access. The location of the toilets shall be at the closest point between the Pavilion and Belvedere in order to minimise the distance between both areas. The area for the public toilets is 25 sq m, comprising 1 accessible room and 4 individual unisex rooms.

21.4.3 Planning Uses Class

The Pavilion should be a Use Class E to allow for future flexibility.

21.4.4 Capacity & Size

- The Pavilion should be capable of holding 100 to 200 people. The area should be 200 square metres, inclusive of 25 square metres for WCs that are accessible to the general public during operating hours.

21.4.5 Services

- **Heating and Hot water:** The scheme needs to generate its own heat and hot water and not connect to the Engie system. The initial proposal is to utilise air-source heat pumps built into the structure. The size of the plant will be driven by the form and occupancy of the building. No gas is being proposed for the scheme.
- **Water:** New metered incoming potable water supply, to be connected to the existing local Thames Water network infrastructure.
- **Power:** New metered incoming LV electricity supply, to be connected to the existing local UKPN network infrastructure (potentially in Block N08, if available capacity exists).

21.4.6 Waste Management & Servicing

The scheme should allow for its own refuse storage, with collections to be arranged with Newham from either Celebration Avenue or Anthems Way. Further testing access tracking for maintenance vehicles, fire tender, deliveries and refuse collection will be undertaken during Stage 2.

21.5 DESIGN PRINCIPLES

21.5.1 Summary of the requirements:

- Two entrances to the Pavilion . One shall be located in the frontage adjacent to the community hub. A second entrance shall be located adjacent to the new NEAP;
- Two active frontages enabling clear sight lines. The facade of the Pavilion adjacent to the Community hub shall be active providing a clear view towards the mound and other adjacent areas of the park. The facade of the Pavilion next to the NEAP shall be equally active with a clear sight line to the play areas. This is critical as it will add safety to the users facilitating the carers to have a coffee or rest in the Pavilion while the individuals under their care use the play equipment;
- A service entrance. The access will be done through Anthems Way and across one of the paths with a minimum width of 4m;
- The provision for a kitchen of 30 sqm and storage shall be situated in the SW facade not obstructing the active frontages. In the same location a provision of 5 sqm for waste management;
- The size of public toilets is specified in the S106 and is to be located within the Pavilion but with a distinct entrance. The outlets will be located on the NE facade, with two entrances.
- While the minimum height for commercial use is set at 2.5 m by the London Plan, The pavilion would benefit from ample height for installations, exhibitions, hanging plants, etc., Which is why an indicative height of a maximum of 3.7m is suggested;
- The design of he pavilion shall meet the LLDC Inclusive Design Standards (IDS) as well as the London Building Regulations.
- At the next stage, the design brief will take into consideration the type of activities, the need for heated spaces, the F&B offer, the hours of operation and management, and the storage space. The design of the pavilion will have to meet the LLDC Inclusive Design Standards (IDS), the London Plan, and the Building Regulations.

- CCTV cameras will be placed in suitable areas to provide a safe environment and discourage any possible antisocial behaviour.

21.5.2 The diagrams represents an indicative massing and floor plan with the sole purpose of understanding the design parameters. The shape and form will be subject to the future competition.



- Pavilion Groundfloor Max. 200 sqm GIA
- Public WC 25sqm within the Pavilion GIA of 200sqm
- 1 accessible room
- 4 individual rooms (Unisex)

Figure 174. Extract from illustrative plan showing potential Pavilion location

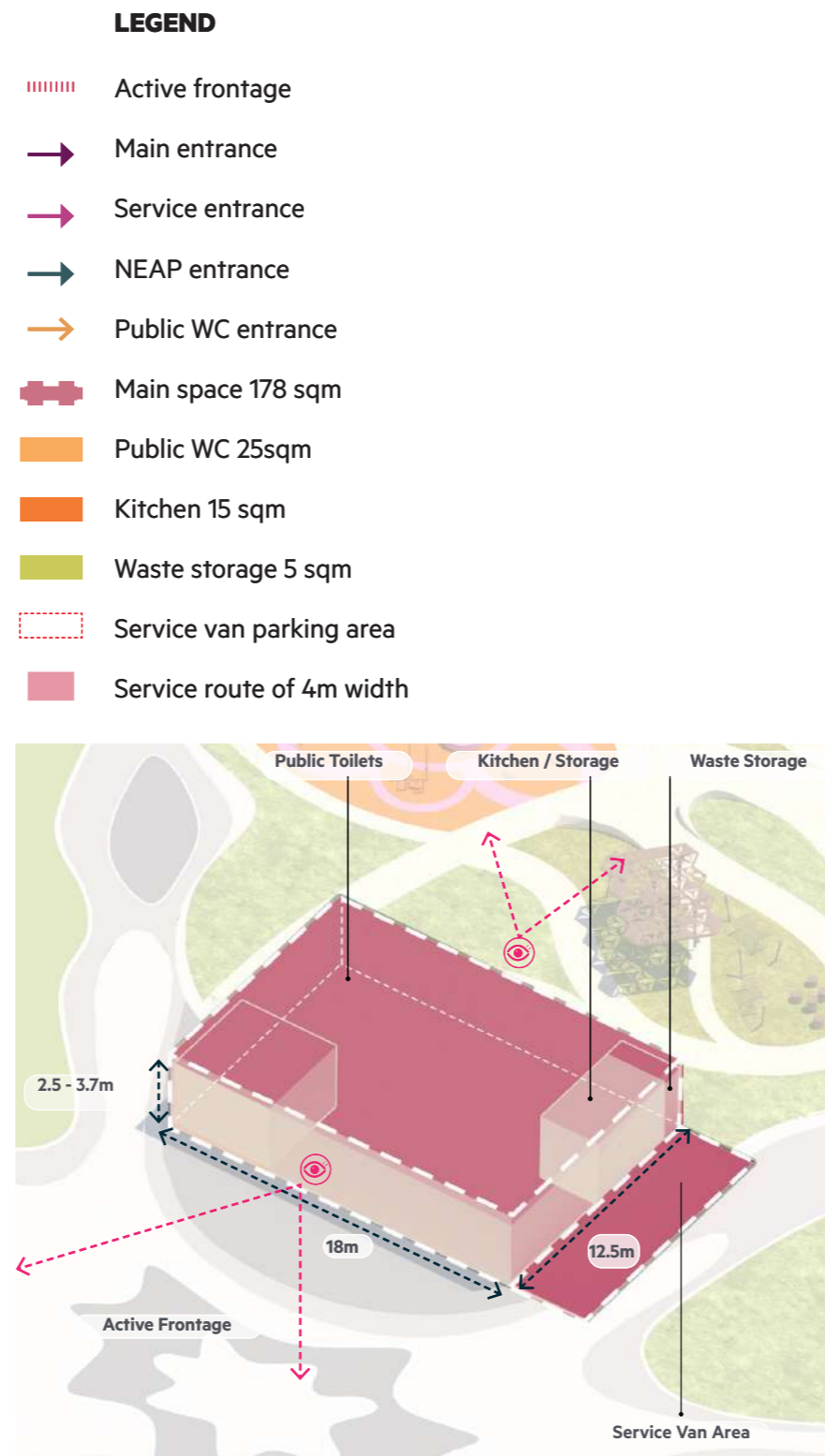


Figure 175. Illustrative diagrams showing the architectural parameters

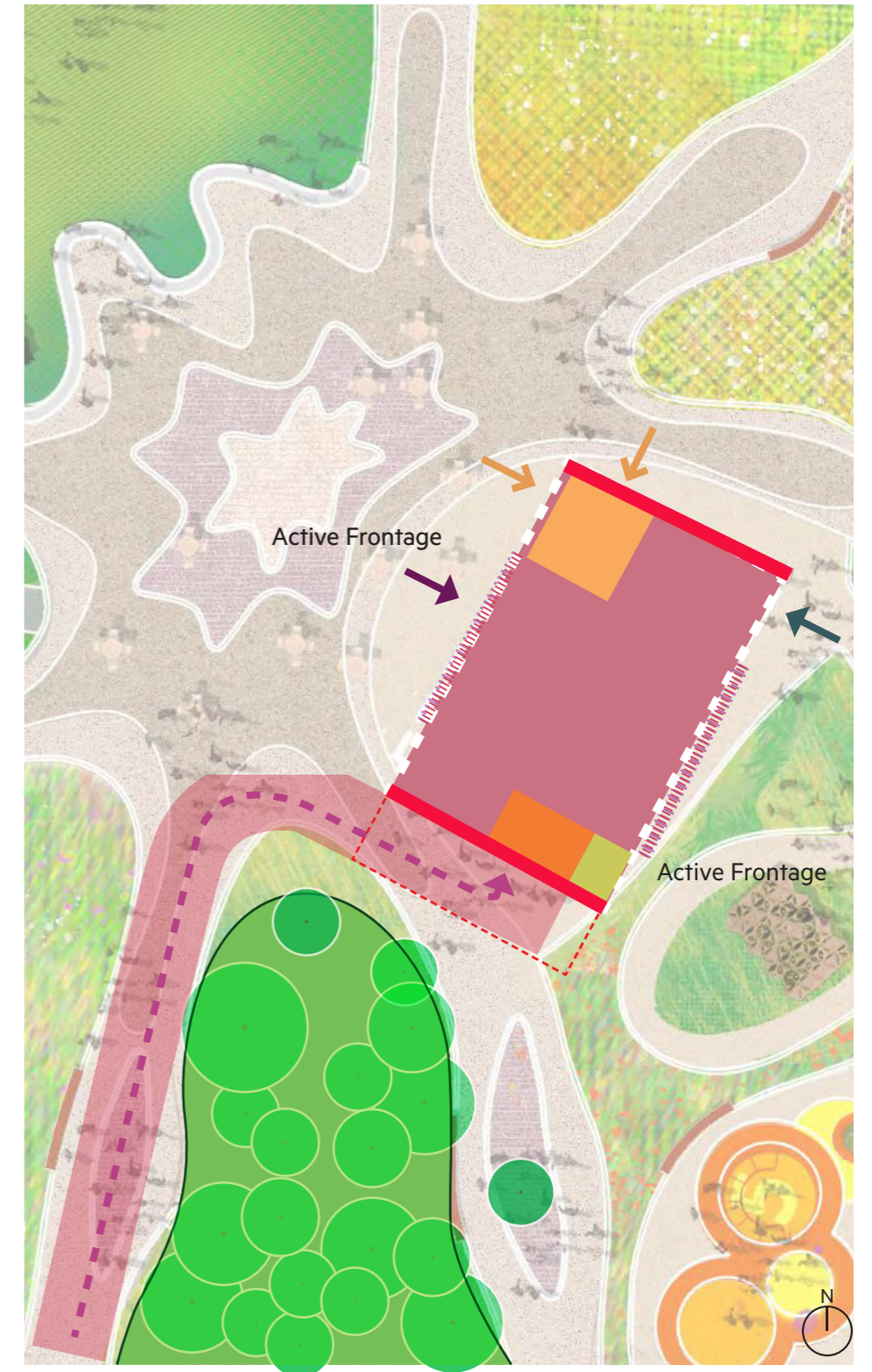




Figure 176. Illustrative view of the proposed Community Hub where the Pavilion shall be located

